

Scope of Work and General Notes

- The project's base bid involves Phase 1A, an addition to the existing building "B", i. site development of adjacent lot (south of Existing temple) as indicated on civil, piping, mechanical, electrical, landscape drawings, including the trash enclosure building, compost structure, connecting walkway structure in north lot and demolition, refurbishing as called out or shown on drawings. The project's base bid also involves Phase 1B, construction of building "C" and entry walkway structure in the south lot shall be submitted as an "add" option to base bid, after receiving the bids the owner (Hindu Community Cultural Center) will decide about the "add" within 30 days depending on the availability of funds.
- Contractor and sub-contractors shall visit the site prior to bidding and shall verify all job site conditions and dimensions and report to the engineer-of-record of any discrepancies.
- Contractor to provide emergency telephone on the job site.
- The facilities will remain open during construction. It is the contractor's responsibility to coordinate with the staff of the temple on a daily basis to assure the continuity of operations and to minimize disruption of the temple activities.
- Fire Department truck access shall be properly maintained and in service prior to, during and after construction.
- For demolition plan see drawing S-1 and other drawings as noted.
- Contractor and sub-contractors shall include in their bid daily site clean-up as part of their work for modifications to the existing, as well as for new construction areas. The contractors and sub-contractors shall exercise strict control over job cleaning in order to prevent any dirt, debris or dust from affecting, in anyway the finished or existing areas in or outside the jobsite, the local codes and neighbors' concerns shall apply.
- Construction activities shall take place on weekdays between hours 7:30a.m. to 5p.m. Noisy construction equipment shall be operated between hours 9 a.m. to 4 p.m. Local requirements or neighbors' requests may change these operations. In all cases city ordinances shall be strictly adhered to.
- These construction bid documents are for general purposes only. They are not exhaustively detailed or fully specified. It is the responsibility of the contractor to verify and resolve any questions with the engineer of record. It is the also the responsibility of the contractor to install all materials and equipment. The contractor is solely responsible for quality control and construction standards for this project. The drawings will indicate the existing items, the items that are to be demolished, the items that are to be refurbished and the items that are to remain.
- Contractor(s) shall be held responsible for the results of any errors, discrepancies, or omissions in the contract documents.
- The owner (Hindu Cultural Community Center) will not be responsible for any unauthorized changes to or uses of the plans and specifications. All changes must be in writing and must be issued by the engineer-of-record who is the owner's representative.
- Any discrepancies shall be brought to the attention of engineer-of-record immediately prior to construction and resolved.
- Written dimensions take precedence. Do not scale drawings.
- All dimensions to and from are to the face of stud, unless noted otherwise.
- Where discrepancies between the soil report and project drawings occur, contact the engineer-of-record.
- Pad grade under buildings shall have positive slopes. Slopes shall be jute matted prior to landscaping to prevent soil erosion.
- The following items shall be provided to the Building Inspector in the form of a stamped and signed professional report:
 - A surveyor must set building corners and also pad elevation(s) before construction.
 - When fill is employed under the buildings, Soils Engineer must verify the pad compaction before construction.
 - A surveyor must verify finish floor elevations.
 - For other inspection requirements see civil, structural, mechanical, plumbing, electrical and landscape drawings.
- See civil drawings for existing and proposed grading, utilities, additional structures, proposed drainage and erosion control measures.
- See landscape drawings for landscape features.
- In the event of conflicts between pertinent codes and specifications and the drawings, the most stringent requirements shall apply.
- Water and/or dust palliatives shall be applied during construction.
- Contractor shall reimburse Hindu Cultural Community Center (HCCC) for all utility bills used for construction.
- All dimensions noted "verify" are to be checked by the contractor prior to construction and report any discrepancies to the engineer-of-record.
- The general contractor or his representative shall be at site at all times during construction. The general contractor or his representative is solely responsible for: (a) coordination of drawings with all trades and professionals and (b) continuous safety for all people and property at all times.
- The contractor shall defend, indemnify and hold the owner and the design professionals harmless from and any all liability, real or alleged, in connection with the project, including but not limited to attorney fees and costs. The owner and design professionals shall be named as additional insureds on the contractor's liability insurance.
- The contractor shall carry a surety bond, the bond amount shall not be less than the total contract amount.
- Contractor to furnish the owner with all warranties and warranty information.
- Contractor shall prepare a construction schedule and shall submit it to the owner. "Owner" is Hindu Community and Cultural Center, Livermore.
- The Owner and the Contractor will enter into a contract which will specify various terms including a payment schedule along with a finishing schedule. Ten percent of each payment will be retained until the project is completed and will be paid to the Contractor after the Occupancy Permit from City and approval by the Owner.
- The Contractor at all times shall keep an approved stamped wet-signed set of the construction documents on site for reference.
- Always use the latest set of construction documents.
- For additional General Notes, see sheet A-1.0.

APPLICABLE CODES AND EDITIONS:
 ALL WORK SHALL COMPLY WITH THE 2006 INTERNATIONAL BUILDING CODE, 2007 CALIFORNIA BUILDING CODE, 2008 CALIFORNIA ENERGY CODE, 2007 CALIFORNIA PLUMBING CODE, 2007 CALIFORNIA MECHANICAL CODE, 2007 CALIFORNIA ELECTRICAL CODE, 2007 CALIFORNIA ADMINISTRATIVE CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.

ABBREVIATIONS:

A.B. ANCHOR BOLT	KIT. KITCHEN	LAM. LAMINATE
ACC ACCESSIBLE	LAV. LAVATORY	LL. LANDLORD
ACCOUS. ACOUSTICAL	LL. MEDICINE CABINET	MATL. MATERIAL
ACT ACOUSTICAL CEILING TILE	MAX. MAXIMUM	MC. MECHANICAL CONTRACTOR
A.D. AREA DRAIN	MIM. MINIMUM	MIR. MIRROR
ADJ. ADJUSTABLE	MISC. MISCELLANEOUS	MECH. MECHANICAL
AFF. ABOVE FINISHED FLOOR	MFR. MANUFACTURER	M.E.P. MECHANICAL ELECTRICAL AND PLUMBING
AGGR. AGGREGATE	M.L.D.G. MOLDING	MTL. METAL
ALT. ALTERNATE	MTL. MATERIAL	(N) NEW
ALUM. ALUMINUM	NAT. NATURAL	NEC. NECESSARY
APPROX. APPROXIMATE	N.I.C. NOT INCLUDED IN CONTRACT	N.O. # NUMBER
ARCH. ARCHITECT, ARCHITECTURAL	N.O. # NUMBER	N.T.S. NOT TO SCALE
BD. BOARD	O. OVER	O.A. OVERALL
BET. BETWEEN	OBS. OBSURE	OC. OCCUPANCY
BLDG. BUILDING	OC. OCCUPANCY	O.C. ON CENTER
BLKG. BLOCKING	O.D. OUTSIDE DIAMETER	O.F. OUTSIDE FACE
BOB. BOTTOM OF BEAM	OFF. OFFICE	OPG. OPENING
BOT. BOTTOM	OPG. OPPOSITE	OPP. HD. OPPOSITE HAND
B.O.W. BOTTOM OF WALL	OPP. HD. OPPOSITE HAND	P.D.L. PERFORATED DRAIN LINE
B.U.R. BUILT UP ROOF	PERF. PERFORATED	PC. PLUMBING CONTRACTOR
BSMT. BASEMENT	PLAS. PLASTER	PL. LAM. PLASTIC LAMINATE
B.W. BOTTOM OF WALL	PL. PLATE OR PROPERTY LINE	PLYWD. PLYWOOD
C.A.R. COLD AIR RETURN	PR. PAIR	PRCST. PRECAST
CAB. CABINET	PT. PAINT	P.T.D. PAPER TOWEL DISPENSER
C/C CENTER TO CENTER	P.T. PAINT	QUAN. QUANTITY
CEM. CEMENT	P.T.D. PAPER TOWEL DISPENSER	QT. QUARRY TILE
CER. CERAMIC	QUAN. QUANTITY	(R) REMODEL
C.F.M. CUBIC FT. PER MINUTE	QT. QUARRY TILE	R. RADIUS
CL. CENTER LINE	RE. REMODEL	R.D. ROOF DRAIN
CLG. CEILING	R. RADIUS	RAD. RADIUS
CLO. CLOSET	R.D. ROOF DRAIN	REC. RECEPTACLE
CLR. CLEAR / CLEARANCE	RAD. RADIUS	REF. REFERENCE
C.M.U. CONCRETE MASONRY UNIT	REC. RECEPTACLE	REFR. REFRIGERATOR
CNTR. CENTER	REF. REFERENCE	REQ.D. REQUIRED
COL. COLUMN	REFR. REFRIGERATOR	REV. REVISED / REVISION
CONC. CONCRETE	REQ.D. REQUIRED	RGR. REGISTER
CONST. CONSTRUCTION	REV. REVISED / REVISION	R.H. ROBE HOOK
CONT. CONTINUOUS	RGR. REGISTER	RM. ROOM
CT. CERAMIC TILE	R.H. ROBE HOOK	R.O. ROUGH OPENING
CTR. COUNTER	RM. ROOM	R/W. RETAINING WALL
CW. COLD WATER	R.O. ROUGH OPENING	RWD. REDWOOD
DBL. DOUBLE	R/W. RETAINING WALL	R.W.L. RAIN WATER LEADER
DEG. DEGREES	RWD. REDWOOD	S.C. SOLID CORE
DEPT. DEPARTMENT	R.W.L. RAIN WATER LEADER	S.D. SOAP DISPENSER
DET. DETAIL	S.C. SOLID CORE	S.N.D. SANITARY NAPKIN DISPOSAL
DIAM. DIAMETER	S.D. SOAP DISPENSER	S.S.D. SEE STRUCTURAL DRAWINGS
DIM. DIMENSION	S.N.D. SANITARY NAPKIN DISPOSAL	SEC. SECURITY
DISP. DISPOSAL OR DISPENSER	S.S.D. SEE STRUCTURAL DRAWINGS	SECT. SECTION
DN. DOWN	SEC. SECURITY	S.F. SQUARE FEET
DOOR DOOR	SECT. SECTION	SH. SHELF
DS. DOWNSPOUT	S.F. SQUARE FEET	SHT. SHEET
DW. DISHWASHER	SH. SHELF	SHTG. SHEATHING
DWG(S) DRAWING(S)	SHTG. SHEATHING	SIM. SIMILAR
DWR. DRAWER	SIM. SIMILAR	SOL. SOLID
(E) EXISTING	SOL. SOLID	SPEC. SPECIFICATION
EA. EACH	SPEC. SPECIFICATION	SQ. SQUARE
EC. ELECTRICAL CONTRACTOR	SQ. SQUARE	S/S STAINLESS STEEL
ELEC. ELECTRICAL	S/S STAINLESS STEEL	STD. STANDARD
EL. ELEVATION	STD. STANDARD	STG. STORAGE
ELEV. ELEVATOR	STG. STORAGE	STL. STEEL
ENCL. ENCLOSURE	STL. STEEL	STRUCT. STRUCTURAL
EQ. EQUAL	STRUCT. STRUCTURAL	SUSP. SUSPENDED
EQUIP. EQUIPMENT	SUSP. SUSPENDED	SYM. SYMMETRICAL
E.W. EACH WAY	SYM. SYMMETRICAL	T. TREAD
EXIST. EXISTING	T. TREAD	T.B. TOWEL BAR
EXP. EXPOSED	T.B. TOWEL BAR	T.B.D. TO BE DETERMINED
EXTR. EXTERIOR	T.B.D. TO BE DETERMINED	T.D.L. TIGHT DRAIN LINE
F.D. FLOOR DRAIN	T.D.L. TIGHT DRAIN LINE	TEL. TELEPHONE
FDN. FOUNDATION	TEL. TELEPHONE	TEMP. TEMPERED
F.F. FINISH FLOOR	TEMP. TEMPERED	T & G TONGUE AND GROOVE
F.G. FINISHED GRADE	T & G TONGUE AND GROOVE	T.H. THERMOSTAT
FIN. FINISH	T.H. THERMOSTAT	THK. THICK
FLASH. FLASHING	THK. THICK	T.O.C. TOP OF CURB
FLR. FLOOR	T.O.C. TOP OF CURB	T.O.P. TOP OF PLATE
FLUOR. FLUORESCENT	T.O.P. TOP OF PLATE	T.O.W. TOP OF WALL
F.O.C. FACE OF CABINET	T.O.W. TOP OF WALL	T. P. TOILET PAPER DISPENSER
F.O.G. FACE OF GLAZING	T. P. TOILET PAPER DISPENSER	T. S. TOP OF SLAB
F.O.S. FACE OF STUD	T. S. TOP OF SLAB	T.S.C.D. TYPICAL
FRMG. FRAMING	T.S.C.D. TYPICAL	U. UNDER
FRP. FIBERGLASS REINFORCED PANEL	U. UNDER	UNF. UNFINISHED
FRPF. FIREPROOF FLOOR / FEET	UNF. UNFINISHED	U.O.N. UNLESS OTHERWISE NOTED
FTG. FOOTING	U.O.N. UNLESS OTHERWISE NOTED	VERT. VERTICAL
FURR. FURRING	VERT. VERTICAL	V.I.F. VERIFY IN FIELD
GA. GAUGE	V.I.F. VERIFY IN FIELD	W. WITH
GALV. GALVANIZED	W. WITH	W.A.R. WARM AIR REGISTER
G.B. GRAB BAR	W.A.R. WARM AIR REGISTER	W.C. WATER CLOSET
G.C. GENERAL CONTRACTOR	W.C. WATER CLOSET	WD. WOOD
GEN. GENERAL	WD. WOOD	WDW. WINDOW
G.F.I. GROUND FAULT INTERRUPTER	WDW. WINDOW	WH. WATER HEATER
GL. GLASS, GLAZING	WH. WATER HEATER	W/O. WITHOUT
G.L.B. GLUE LAM BEAM	W/O. WITHOUT	W.P. WEATHER PROTECTED
GLULAM. GLUE LAMINATED	W.P. WEATHER PROTECTED	WT. WEIGHT
OND. GROUND	WT. WEIGHT	WWM. WELDED WIRE MESH
OWB. GYPSUM WALL BOARD	WWM. WELDED WIRE MESH	YR. YEAR
GYP. BD. GYPSUM BOARD	YR. YEAR	& AND
H.B. HOSE BIB	& AND	@ AT
H.C. HOLLOW CORE	@ AT	CL. CENTERLINE
H.D. HOLD DOWN	CL. CENTERLINE	PARALLEL
HDWE. HARDWARE	PARALLEL	
HDR. HEADER		
HDWD. HARDWOOD		
HDWR. HARDWARE		
H.M. HOLLOW METAL		
VERT. VERTICAL		
HORIZ. HORIZONTAL		
HR. HOUR		
HT. HEIGHT		
HVAC HEATING VENTILATING AIR CONDITIONING		
HW. HOT WATER		
I.D. INSIDE DIMENSION / DIAMETER		
INCH INCH		
INCL. INCLUDING		
INFO. INFORMATION		
INSUL. INSULATION		
JAN. JANITOR		
J.C. JOB CAPTAIN		
JST. JOIST		
JT. JOINT		
L. PERPENDICULAR		

NOTES:

- THE PROJECT STRUCTURAL ENGINEER OF RECORD MUST REVIEW THE SPRINKLER SYSTEM (TRUSSES SEE SD-1) SUBMITTAL PRIOR TO SUBMITTING TO THE CITY. THE EOR MUST PROVIDE A STAMPED AND SIGNED LETTER TO THE CITY APPROVING BOTH THE STRUCTURAL ADEQUACY OF THE BUILDING TO SUPPORT THE SPRINKLER SYSTEM AND SPECIFICALLY APPROVES CONNECTION DETAILS OF THE SPRINKLER SYSTEM TO THE STRUCTURAL ELEMENTS, REFERENCING THE SPECIFIC FIRE PROTECTION DRAWINGS.
- THIS PROJECT REQUIRES AN AUTOMATIC SPRINKLER SYSTEM AS SPECIFIED BY LIVERMORE MUNICIPAL ORDINANCE. THE PEDESTRIAN WALKWAY MUST BE SPRINKLERED AS WELL AS THE BUILDING, UNLESS SPECIFICALLY EXEMPTED BY THE LIVERMORE PLEASANTON FIRE MARSHAL. PLANS & SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF LIVERMORE PERMIT CENTER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ALL FIRE PROTECTION PIPING INCLUDING THE FIRE SPRINKLER RISER, SHALL BE LOCATED INSIDE AT AN APPROVED INDOOR LOCATION. SPRINKLER PLANS SHALL BE PREPARED SHOWING ALL TENANT IMPROVEMENT SPRINKLER SYSTEM MODIFICATIONS. PLANS & PLAN REVIEW FEES SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU PRIOR TO COMMENCEMENT OF WORK. A CALIFORNIA STATE LICENSED FIRE SPRINKLER CONTRACTOR WITH A C-16 LICENSE SHALL PERFORM ALL FIRE SPRINKLER TENANT IMPROVEMENT WORK.

COURSE OF CONSTRUCTION OBSERVATIONS: BY GOVINDRAO (925-833-9784)

- EPOXY INSTALLED ANCHOR / HOLD DOWN BOLTS
 - REINFORCING STEEL - SLAB & GRADE BEAM
 - SHEARWALL - NAILING & STRAPPING
- OBSERVED DEFICIENCIES SHALL BE REPORTED TO THE OWNER, THE SPECIAL INSPECTOR, THE CONTRACTOR AND THE BUILDING OFFICIAL. PRIOR TO FINAL INSPECTION, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT SITE VISITS HAVE BEEN MADE & IDENTIFY ANY REPORTED DEFICIENCIES THAT HAVE NOT BEEN RESOLVED. CONTRACTOR IN RESPONSIBLE CHARGE TO SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND BUILDING OFFICIAL (CITY OF LIVERMORE PERMIT CENTER) FOR:
- ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL REQUIREMENT CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION.
 - ACKNOWLEDGEMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL.
 - PROCEDURES FOR EXERCISING CONTROL, WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD OF, AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF THE REPORTS; AND
 - IDENTIFICATION & QUALIFICATIONS OF THE PERSON(S) EXERCISING SUCH CONTROL AND THEIR POSITION(S) IN THE ORGANIZATION.
- AUTOMATIC SPRINKLER SYSTEMS AS SPECIFIED BY LIVERMORE MUNICIPAL ORDINANCE - PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF LIVERMORE PERMIT CENTER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

CODE ANALYSIS:

OCCUPANCY CLASSIFICATION	
(E) ASSEMBLY HALL	A-2
(N) BLDG "B" ADDITIONS	A-2
(E) ASSEMBLY HALL & (N) KITCHEN ARE OCCUPANCY A-2 AS PER 2007 CBC, SECTION 303.1. REST OF THE (N) BLDG. 'B' ADDITIONS ARE OCCUPANCY A-2 AS PER SECTION 508.3.1, EXCEPTIONS # 1.	
BUILDING HEIGHT	24 FT. (E) ONE STOREY
CONSTRUCTION TYPE	TYPE VB (W/ SPRINKLERS)
FIRE SUPPRESSION	YES
ASSESSORS PARCEL #	099B-5125-005-04
CONDITIONAL USE PERMIT	150-90
ADDRESS	1232 ARROWHEAD AVENUE
SITE AREA	332,662 SF
EXISTING BUILDING "B"	8,600 SF
ADDITION TO EXISTING BUILDING "B"	7,287 SF
ACTUAL FLOOR AREA	15,887 SF
ALLOWABLE AREA FOR 'A-2'	= BASIC ALLOWABLE AREA + AREA INCREASE FOR SPRINKLERS OF 300% = 6,000SQ.FT.+(3X6000)SQ.FT. = 24,000SQ.FT.
TOTAL	= 24,000SQ.FT.
NO. OF STORIES	= 1

SPECIAL INSPECTION / STRUCTURAL OBSERVATION:

- GRADING, DRAINAGE, PAD PREPARATION
 - DRILLED PIERS
 - STRUCTURAL REINFORCING STEEL
 - STRUCTURAL FRAMING & SHEER WALL
 - EPOXY INSTALLED ANCHOR & HOLD DOWN BOLTS
 - STRUCTURAL WELDING
 - CONCRETE TESTING FOR STRUCTURAL COLUMNS, INCL. REINFORCING STEEL
 - MANUFACTURED TRUSSES
- BY HENRY JUSTINIANO & ASSOCIATES (SOILS ENG.)
 BY B.R. GOVINDRAO (ENGINEER OF RECORD)
 BY B.R. GOVINDRAO (ENGINEER OF RECORD)
 BY FABRICATOR'S SHOP WELDING INSPECTOR
 BY KORBMACHER ENGINEERING INC. (925-454-9033)
 BY B.R. GOVINDRAO (ENGINEER OF RECORD)

DEFERRED SUBMITTALS:

KITCHEN HOOD & ODOR FILTERATION SYSTEM SHOP DRAWINGS, AUTOMATIC FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, MANUFACTURED ROOF TRUSSES & DETAILED UNDERGROUND FIRE LINE SHOP DRAWINGS. DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN CHARGE WHO SHALL REVIEW THEM & FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE BUILDING OFFICIAL HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS. CBC APPENDIX CHAPTER 1, SECTION 106.3.4.2

OCCUPANT LOAD

OCCUPANT LOAD IS BASED ON EITHER THE GROSS FLOOR AREA OR THE NET FLOOR AREA AND THE FUNCTION OF THE SPACE IN ACCORDANCE WITH CBC TABLE 1004.1.1. THE GROSS FLOOR AREA EXCLUDES VENT SHAFTS AND COURTS, BUT INCLUDES CORRIDORS, STAIRWAYS, CLOSETS AND THICKNESS OF INTERIOR WALLS AND COLUMNS (CBC SECTION 2002).

FUNCTION OF SPACE	AREA OF SPACE (G) GROSS, (N) NET	FLOOR AREA PER OCCUPANT	NUMBER OF OCCUPANTS	EGRESS WIDTH IN INCHES	MINIMUM NUMBER EXITS
102 ASSEMBLY HALL	4,347 SF (N)	7 SF	621	102	3
103 STAGE	285 SF (N)	15 SF	19	20	1
128+129 KITCHEN	578 SF (G)	200 SF	3	4	1
130-136 KITCHEN	3,690 SF (G)	200 SF	18.5	4	1
137 CLASSROOM	314 SF (N)	20 SF	15.7	10	1
138 MEETING ROOM	314 SF (N)	7 SF	44.8	10	1
139 READING ROOM	721.5 SF (N)	50 SF	15	10	1
RESTROOMS / JANITORIAL	2,224 SF (N)	-	-	-	-
CORRIDORS & HALLWAYS	1,506.5 SF (N)	-	-	-	-
101 LOBBY	691 SF (N)	-	-	-	-
119 PRIEST LOUNGE	93 SF (N)	-	-	-	-
STORAGE ROOMS	457 SF (N)	-	-	-	-
118 CPU SERVER	88 SF (N)	-	-	-	-
PRAYER ROOMS	268 SF (N)	-	-	-	-
ELEC./MECH./MAINTAINANCE	310 SF (N)	-	-	-	-
TOTAL	15,887 SF		737	160	

SYMBOLS:

- FAN
- PROPERTY LINE
- BLOCKING
- SHEAR WALL
- BATT INSULATION
- NEW WALL, (SHADED)
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- BEAMS, HEADERS, GLULAMS AS NOTED
- POST- CONTINUOUS
- POST ABOVE FRAMING LEVEL
- METAL JOIST, RAFTER, OR BEAM HANGER
- NORTH ARROW
- WALL REGISTER
- FLOOR REGISTER, CEILING REGISTER
- CONTINUOUS FRAMING
- TOP OF SUB FLOOR ELEV.
- ADDENDUM OR REVISION NUMBER
- DOOR NUMBER
- WINDOW NUMBER
- DETAIL-TOP: DWG. NUMBER OR LETTER
- CALLOUT BTM: SHEET NUMBER
- SECTION - TOP: DWG. LETTER
- CALLOUT BTM: SHEET NUMBER
- ELEVATIONS-TOP: ELEVATION NUMBER
- BTM: SHEET NUMBER
- CEILING HEIGHT

SHEET INDEX:

FOR BUILDING 'B'	
ARCHITECTURAL DRAWINGS	
CO	COVER SHEET
A-0	TITLE SHEET
A-0.1	LIVERMORE SECURITY ORINANCE
A-1.0	EXIT PLAN
A-1.1	SITE PLAN
A-1.2	ACCESSIBLE DETAILS
A-1.3	ACCESSIBLE DETAILS
A-2.1	EXISTING FLOOR PLAN (FOR REFERENCE ONLY)
A-2.2	PROPOSED FLOOR PLAN
A-2.3	PROPOSED ROOF PLAN
A-2.4	WINDOW SCHEDULE / DOOR SCHEDULE & INTERIOR FINISH SCHEDULE
A-2.5	TECHNICAL SPECIFICATIONS
A-3.1	EXISTING EXTERIOR ELEVATIONS (FOR REFERENCE ONLY)
A-3.2	PROPOSED EXTERIOR ELEVATIONS
A-3.3	BUILDING SECTIONS
A-4.1	RESTROOM PLANS
A-5.1	INTERIOR ELEVATIONS OF NEW RESTROOMS
A-5.2	INTERIOR ELEVATIONS OF NEW RESTROOMS
A-6.1	REFLECTED CEILING PLAN
A-8.1	EXISTING EXTERIOR DETAILS
A-9.1	INTERIOR DETAILS
K-1	KITCHEN BUILDING "B" FLOOR PLAN
K-2	KITCHEN EQUIPMENT SCHEDULE
STRUCTURAL DRAWINGS	
S-1	DEMOLITION PLAN
S-2	STRUCTURAL FOUNDATION PLAN
S-3	STRUCTURAL SHEARWALL PLAN
S-4	STRUCTURAL ROOF FRAMING PLAN
& TRASH ENCLOSURE CEILING FRAMING PLAN	
SD-1	STRUCTURAL GENERAL NOTES
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS
SD-4	MISC. STRUCTURAL DETAILS
ELECTRICAL DRAWINGS	
E-0.0	ELECTRICAL SYMBOLS & GEN. NOTES
E-1	ELECTRICAL LIGHTING FLOOR PLAN
E-2	ELECTRICAL POWER FLOOR PLAN
E-3	ELECTRICAL POWER FLOOR PLAN
E-4	ELECTRICAL SINGLE LINE & PANEL SCHEDULES
MECHANICAL DRAWINGS	
M-0.1	MECH. SPECS. & EQUIPMENT SCHEDULE
M-0.2	MECH. DETAILS & EQUIPMENT SCHEDULE
M-1	MECHANICAL FLOOR PLAN
M-2	MECHANICAL ROOF PLAN
PLUMBING DRAWINGS	
PO.1	PLUMBING SCHEDULE, NOTES & DETAILS
PO.2	PLUMBING SITE PLAN
PO.3	PLUMBING SPECIFICATIONS
PD-1	PLUMBING DEMOLITION FLOOR PLAN
P-1	PLUMBING FLOOR PLAN
PO4	NATURAL GAS PIPING SCHEMATIC FLOOR PLAN
ENERGY COMPLIANCE	
T24-ENV	ENVELOPE COMPLIANCE
T24-MECH	MECHANICAL COMPLIANCE
T24-LTG	INTERIOR LIGHTING COMPLIANCE
T24-OLTG	EXTERIOR LIGHTING COMPLIANCE

REVISIONS

PROPOSED ADDITIONS & IMPROVEMENTS TO HINDU COMMUNITY AND CULTURAL CENTER ARROWHEAD AVE., LIVERMORE, CA

REVISIONS	BY
△ 05-24-10	HCCC
△ 08-06-10	BPC



Security Ordinance

Livermore Municipal Code Section 15.18

These are **excerpts** from the Livermore Municipal Code section 15.18 relating to security standards (commonly known as the Security Code) provided by the Police Department in an effort to avoid any misunderstanding regarding our security requirements. ***Please note: these are only excerpts and do not include all the codes.** If you have any questions regarding these codes, or have special concerns not covered, please contact the Livermore Police Department Crime Prevention Unit at 371-4797 or fax 371-4707.

Commercial and Industrial Units

Section 15.18.010 Purpose:

The purpose of this chapter is to provide a minimum level or resistance to unlawful entry to buildings by establishing minimum standards of design and maintenance of certain security equipment within the city. The provisions of this chapter are not intended to prevent the use of any material, device, hardware or method not specifically prescribed in this chapter, when such alternate provides equivalent security and is approved by the Police Department.

Section 15.18.080 Exterior Doors

Each exterior door shall be secured as follows, where not prohibited by the building code:

- Single doors shall be equipped with a single cylinder dead bolt with a turnpiece with a minimum throw of one inch. A hook or expanding bolt may have a throw of three-quarters inch. A dead bolt must contain an insert of hardened steel to resist attempts at cutting through the bolt.
- On pairs of doors, the active leaf shall be equipped with the type lock required for a single door as in subsection (A) above. The inactive leaf shall be equipped with flush bolts protected by hardened material, with a minimum throw of five-eighths inch at the top and bottom.
- Cylinders shall be so designed or protected with cylinder guards, that they cannot be gripped by pliers or other wrenching devices.
- Rolling overhead doors, solid overhead swinging, sliding or accordion-type doors shall be equipped with a cylinder lock or padlock when not controlled by electric power operation.

Information Bulletin IB-43 (Updated 09/01/08)

City Hall
Permit Center
Community Development Department
1022 South Livermore Avenue
Livermore, CA 94550
phone: (925) 960-4410
fax: (925) 960-4419
TDD: (925) 960-4104
www.ci.livermore-ca.us

- Mounting screws for the lock case shall be inaccessible from the outside. A lock bolt shall be of hardened steel or have hardened steel inserts. The lock bolt shall engage the strike sufficiently to prevent its being disengaged by any possible movement of the door within the space or clearances provided for installation and operation. If a padlock is used it shall have a minimum of one-quarter-inch diameter hardened steel shackle and hardened steel hasp attached by bolts which are non-removable from the exterior.
- Outside pin-type hinges on all exterior doors shall be provided with non-removable pins and shall have jamb pins which project through both hinge leaves and prevent removal of the door if the pin is removed from the hinge. Jamb pins shall be not less than three-sixteenths-inch diameter steel and shall project into the door and jamb not less than one-quarter inch. Jamb pins are not required for hinges which are shaped to prevent removal of the door when the hinge pin is removed.
- Glazed panels in doors or adjacent to the doorframe shall be of approved, burglary-resistant material. ***Note:** A double cylinder deadbolt lock may be installed in-lieu of security glazing. Signage must accompany this installation: (Door must remain unlocked during business hours)
- Doorjamb shall be constructed or protected to prevent violation of the function of the strike.
- Exterior doors shall be illuminated with a minimum of one footcandle of light at the door. Lights shall be protected from breakage or tampering.

Section 15.18.085 Loading/Unloading Docks, Shipping/Receiving Areas

- Exterior loading and unloading docks and shipping and receiving areas are not allowed.
- Such areas may not extend outward past the exterior walls of the building.
- Such areas shall be designed so that cargo vehicles may be maneuvered to the door opening and cargo moved directly between the vehicle and the building, thus minimizing the opportunity for theft.
- Doors to these areas shall be flush-mounted to eliminate the possibility of goods or persons being secreted in recessed doorways.

Section 15.18.100 Other Openings

Each other type of opening shall be secured as follows, where not prohibited by the building code:

- Exterior transoms, with any dimension exceeding twelve inches, shall be of approved burglary-resistant material.
- All skylights on the roof of any building or premises used for business purposes shall be provided with:
 - Steel bars of at least one-half inch round or one by one-fourth inch flat, spaced not more than five inches apart, cross-braced to prevent spreading, mounted inside the skylight, and secured by non-removable bolts; or
 - A steel grille of at least one-eighth inch metal with a maximum two-inch mesh mounted inside the skylight and secured by non-removable bolts; or
 - Skylights which are integrally constructed in such a manner as to provide equivalent security protection to that provided by the opening protection indicated in items 1 or 2 above shall not be required to provide additional bars or grilles, provided that such integrally constructed skylight, or any component of it, shall not be operable from the exterior.

- Hatchways shall be covered on the inside with at least 16-gauge sheet steel or equivalent, and shall be secured from the inside with a slide bar or slide bolt. Outside pin-type hinges shall be provided with non-removable pins. Exposed hinge-screws shall be of the non-removable type.
- Air duct or air vent openings exceeding eight by twelve inches shall be secured by iron bars of at least one-half inch diameter, or one by one-quarter inch flat material spaced five inches apart and securely fastened, or by a steel grille of at least one-eighth inch material of not more than two-inch mesh and securely fastened. Barriers on the outside shall be secured with round-head flush bolts. (Prior code 6.72)

Section 15.18.110 Ladders

Ladders (excluding fire escapes) located on the exterior of a building, which could provide access to the roof, shall be secured from unauthorized use by covering the rungs with an approved barrier locked in place with a padlock. The padlock shall have a minimum of five pin tumblers and be of case-hardened steel. Hinges used shall be of non-removable type. The barrier shall provide a minimum of eight feet of continuous covering extending 12 feet above ground level or to the top of the ladder, whichever is lower (1960 code § 6.73).

Section 15.18.120 Lighting and Parking Areas

The following restrictions as to lighting of commercial building shall apply, where not restricted by the building code:

- Open or covered parking areas providing more than 10 parking spaces shall be illuminated with a maintained minimum of one footcandle of light at the parking surface when open for business during the hours of darkness.
- Lighting fixtures shall be so arranged as to disseminate light uniformly over the parking surface.
- Lights shall be protected from breakage or tampering.
- All lighting shall be private and not substituted with public street lighting to meet the requirements of the security code (1960 code § 6.75).

Section 15.18.125 Address Numbers

- All commercial buildings shall display address numerals in such a position that the numerals are easily visible to approaching emergency vehicles.
- Such numerals shall be no less than six inches in height, with a minimum width of one inch, and shall be contrasting color to the background to which they are mounted or attached. During the hours of darkness the numerals shall be illuminated with a maintained minimum of one footcandle of light. In lieu of exterior illumination, the numerals may be backlit with a fixture which is resistant to tampering and breakage, having an opaque background to which the numerals are mounted.
- The building address must be displayed on the front of the building and shall be mounted on a non-moveable surface nearest to the street.
- Commercial buildings housing more than one address must also display and maintain the address numerals on any rear or side exterior doors facing driveways, parking lots or other vehicle access.

Section 15.18.130 Special Security

- Intrusion Devices. If the enforcing authority determines that the security measures and locking devices described in this chapter do not adequately secure the building, due to special conditions, he may require the installation and maintenance of an intrusion device (burglar alarm system).
- Each establishment listed below, having specific-type inventories, shall be protected by supervised service silent or local alarm (see Chapter 5.12, Alarm Systems, of this code):
 - Art galleries;
 - Camera stores;
 - Clothing stores (new);
 - Coin and stamp stores;
 - Drugstores;
 - Electronic equipment, include musical instruments;
 - Fur stores;
 - Guns and ammunition;
 - Hazardous material, storage or processing;
 - Industrial tool supply houses;
 - Jewelry stores, retail manufacturing, wholesale;
 - Liquor stores;
 - Pawnshops;
 - Office machines (excluding furniture);
 - Precious metal storage
 - Service stations;
 - Wholesale drugs;
 - Wholesale liquor, wine or beer;
 - Wholesale tobacco.

LIVERMORE SECURITY ORDINANCE
HINDU COMMUNITY AND CULTURAL CENTER
1232 ARROWHEAD AVE. LIVERMORE, CA 94551

LIVERMORE SECURITY ORDINANCE

DATE
03/12/10
SCALE:
DRAWN BY:
RL
PROJECT:
ARROWHEAD

A01

REVISIONS	BY
05-24-10	HCCC
08-06-10	BPC
11-01-10	BPC

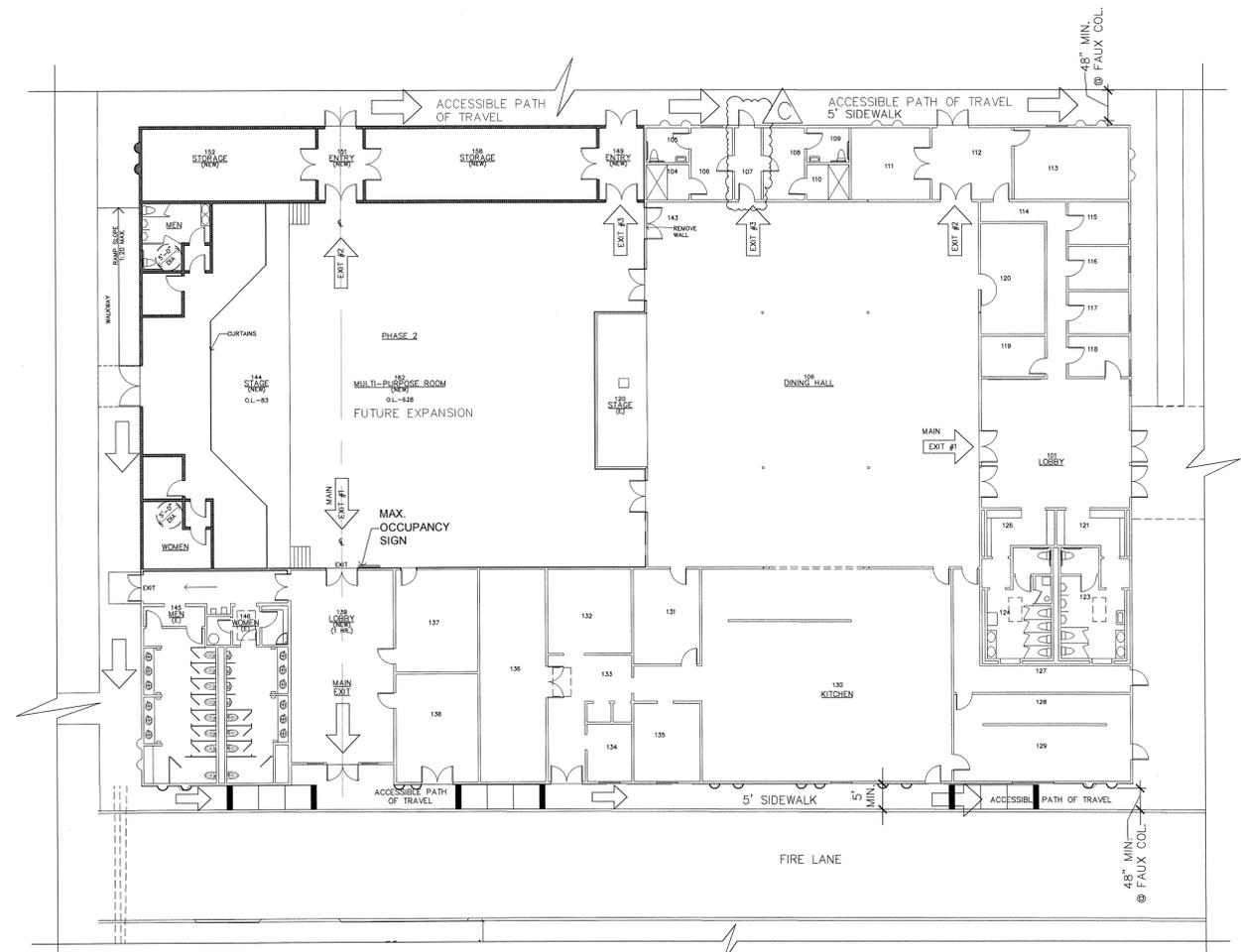


ADDITION TO EXISTING BUILDING 'B'
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

EXIT PLAN

DATE	03/12/10
SCALE:	1"=16'
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-1.0

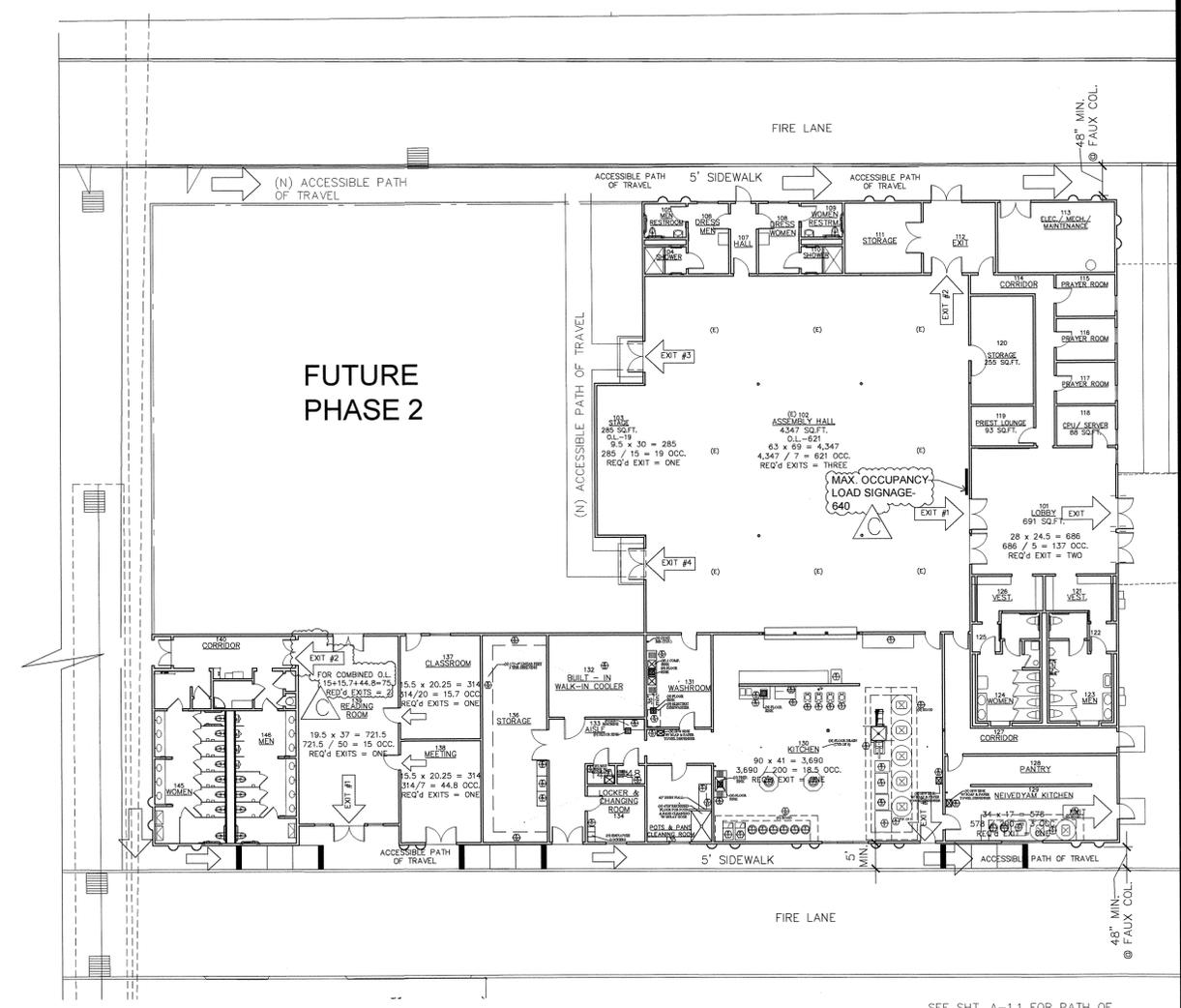


EXIT PLAN (BUILDING 'B' W/ FUTURE EXTENSION) - 23,623 SQ.FT.

AREA FOR BUILDING 'B' FUTURE EXTENSION - 7,736 SQ.FT.
 AREA FOR EXISTING BUILDING 'B' - 15,887 SQ.FT.
 TOTAL AREA FOR BUILDING 'B' - 23,623 SQ.FT. < 24,000 SQ.FT.

COMBINED O.L. OF EXISTING ASSEMBLY HALL & FUTURE MULTI PURPOSE ROOM = 640+711 = 1351
 RED'd EXITS (AS PER TABLE 1019.1) = 4
 PROVIDED EXITS = 6

- GENERAL NOTES:**
- ALL WORK SHALL COMPLY WITH THE 2006 INTERNATIONAL BUILDING CODE, 2007 CALIFORNIA BUILDING CODE, 2008 CALIFORNIA ENERGY EFFICIENCY STANDARDS, 2007 CALIFORNIA PLUMBING CODE, 2007 CALIFORNIA MECHANICAL CODE, 2007 CALIFORNIA ELECTRICAL CODE, 2007 CALIFORNIA MECHANICAL CODE, AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.
 - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS PRIOR TO BIDDING, AND FOR ANY UNIQUE CIRCUMSTANCES OR DISCREPANCIES THAT MAY EXIST.
 - DIMENSIONS, UNLESS OTHERWISE SHOWN, ARE TO STUDLINE, ROUGH CONCRETE OR CONCRETE BLOCK SURFACE.
 - CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO THE FABRICATION OF ANY WORK. DO NOT SCALE DRAWINGS, ONLY WRITTEN DIMENSIONS ARE TO BE USED. ANY ERRORS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, IMMEDIATELY. UNLESS REPORTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONAL INCONSISTENCIES AND PROBABLE REMEDIAL WORK.
 - IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED FOR.
 - CURBS AND CURB CUTS TO BE PER CITY STANDARDS.
 - THE FINISHES FOR THIS PROJECT, INCLUDING BUT NOT LIMITED TO, FLOOR COVERINGS, PAINT, MOULDINGS, LIGHT FIXTURES ETC., ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - SEPARATE PERMIT SHALL BE OBTAINED FOR ELECTRICAL, HEATING, AND PLUMBING INSTALLATIONS. CONTRACTOR SHALL PROVIDE DESIGN/SCHEMATICS AND PAY REQUIRED PERMIT FEES.
 - CONTRACTOR SHALL COORDINATE BETWEEN THE VARIOUS TRADES/SUBCONTRACTORS.
 - CONTRACTOR SHALL SUBMIT DOCUMENTATION TO ENGINEER OF RECORD (EOR) FOR OWNER'S APPROVAL, PRIOR TO INSTALLATION OF FIXTURES, HARDWARE, FINISHES, ETC.
 - MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF/ RECYCLED BY THE CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN COMPLETE STRUCTURAL INTEGRITY AT ALL TIMES AND SHALL PROVIDE ADEQUATE PRECAUTION FOR SAFETY OF PUBLIC LIFE AND PROPERTY.
 - INSTALL SMOKE DETECTORS AS REQUIRED PER CITY, COUNTY.
 - ALL SUBCONTRACTORS ARE THE RESPONSIBILITY OF THE PRIME CONTRACTOR AND ARE ASSUMED TO BE EXPERIENCED AND THOROUGHLY KNOWLEDGEABLE IN THEIR RESPECTIVE AREAS OF THE CONSTRUCTION INDUSTRY AND SHALL PERFORM IN A RESPONSIBLE MANNER IN ESTABLISHED CONSTRUCTION SEQUENCE, RECOGNIZING THE PRIORITY OF THE CONSTRUCTION DOCUMENTS, DRAWINGS AND DETAILS AND SHALL INFORM THE PRIME CONTRACTOR OF POTENTIAL PROBLEMS WHEN DRAWINGS ARE UNCLEAR OR INCONSISTENT.
 - CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER OF RECORD OF DISCREPANCIES OR CONFLICTS ON THESE CONSTRUCTION DOCUMENTS FOUND DURING BIDDING AND/OR CONSTRUCTION PRIOR TO PERFORMING THE WORK. SUCH DISCREPANCIES SHALL BE RECEIVED EXPEDITIOUSLY AND NOTIFICATION GIVEN TO THE CONTRACTOR EITHER VERBALLY OR IN WRITING AS APPLICABLE TO THE CONDITION.
 - CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL UTILITY SERVICES AND COORDINATE AS REQUIRED BY EITHER RESPECTIVE AREA OF THE CONSTRUCTION INDUSTRY, NOTIFYING THE PRIME CONTRACTOR OF VARIATIONS OR CONFLICTS.
 - IN THESE CONSTRUCTION DOCUMENTS, MATERIALS AND/OR EQUIPMENT SHALL BE IDENTIFIED BY THE CONTRACTOR WITHIN A REASONABLE TIME TO ALLOW SELECTION, PURCHASE AND DELIVERY, TO PREVENT DELAY OF THE JOB SCHEDULE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM HIS/HER WORK IN CONFORMANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LIFE SAFETY FEATURES AS REQUIRED BY LOCAL, STATE, OR FEDERAL AUTHORITIES. HE/SHE SHALL VERIFY WITH THE EOR, IF MODIFICATION OF HIS/HER WORK IS REQUIRED FOR COMPLIANCE.
 - ALL MATERIALS AND/OR EQUIPMENT SHALL BE HANDLED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR SHALL SUBMIT ALL COLORS AND/OR COLOR SAMPLES TO THE OWNER FOR APPROVAL, BEFORE APPLICATION.
 - IF ACCESSIBLE ROUTES OF TRAVEL EXCEED 5% IN ELEVATION CHANGES, A RAMP SHALL BE PROVIDED COMPLYING WITH 2007 C.B.C. SECTION 1120.
 - EXTERIOR STAIRS, IF ANY, AND APPROACHES SHALL BE SLIP RESISTANT PER THE 2007 C.B.C. SECTION 1120.
 - PAVING TO BE SLOPED A MAXIMUM OF 2% UP TO ACCESSIBLE ENTRANCES TO DOOR THRESHOLD.
 - FIRE-BLOCK CONCEALED SPACES C.B.C. 708.
 - WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, HAVE A MAXIMUM OF 1/2" CHANGES IN ELEVATION AND ARE A MINIMUM OF 48 INCHES IN WIDTH PER 2007 C.B.C. SECTION 1120.
 - ALL SHOP DRAWINGS & DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED AND APPROVED IN WRITING BY ENGINEER OF RECORD AND THE SUBMITTAL IN WRITING TO THE BUILDING DIVISION. (EX TIE-DOWN SYSTEM).



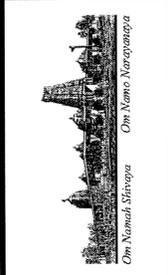
EXIT PLAN (BUILDING 'B') - 15,887 SQ.FT.

- NOTES:**
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - ALL EXIT SIGNS ARE ILLUMINATED AT ALL TIMES AND HAVE AN EMERGENCY POWER SOURCE. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
 - THE MEANS OF EGRESS SHALL BE ILLUMINATED TO COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE ILLUMINATION LEVEL SHALL BE A MINIMUM OF 1 FOOT-CANDLE AT WALKING LEVEL.
 - EMERGENCY ELECTRICAL SYSTEM POWER FOR A DURATION OF AT LEAST 90 MINUTES FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR (IN ACCORDANCE WITH SECTION 2702) MUST BE PROVIDED FOR THE FOLLOWING AREAS (CBC 1006.3) WHERE TWO OR MORE EXITS ARE REQUIRED:
 - CORRIDORS
 - INTERIOR EXIT DISCHARGE ELEMENTS (SECTION 1024.1)
 - EXTERIOR LANDINGS (SECTION 1008.1.5) FOR EXIT DISCHARGE DOORWAYS.
 - ILLUMINATION MUST MEET AN AVERAGE OF 1 FOOT-CANDLE AND A MINIMUM OF 0.1 FOOT-CANDLE ALONG THE PATH OF EGRESS AT FLOOR LEVEL.
 - ILLUMINATION MUST NOT DECLINE TO LESS THAN AN AVERAGE OF 0.6 FOOT-CANDLE AND A MINIMUM OF 0.06 FOOT-CANDLE AT THE END OF THE EMERGENCY LIGHTING TIME DURATION.
 - A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATION OF 40 TO 1 SHALL NOT BE EXCEEDED.
 - INTEGRATE (N) ALARM WITH (E) BUILDING ALARM SYSTEM.

PLUMBING FIXTURE REQUIREMENTS AS PER CPC TABLE 4-1

TYPE OF BUILDING/ OCCUPANCY	OCCUPANT LOAD		WATER CLOSETS		URINALS	LAVATORIES		DRINKING FOUNTAINS
			MALE	FEMALE		MALE	FEMALE	
BUILDING B - ASSEMBLY/ A-2 OCCUPANCY AREA = 15,887 SQ.FT.	15,887/15 = 1,060	REQUIRED	4	13	4	3	3	4
	MALE = 530 FEMALE = 530	PROVIDED	8	14	7	10	9	6

REVISIONS	BY
△ 05-24-10	HCCC
△ 08-06-10	BPC
10-07-10	BD
△ 10-12-10	BPC
△ 11-02-10	BPC

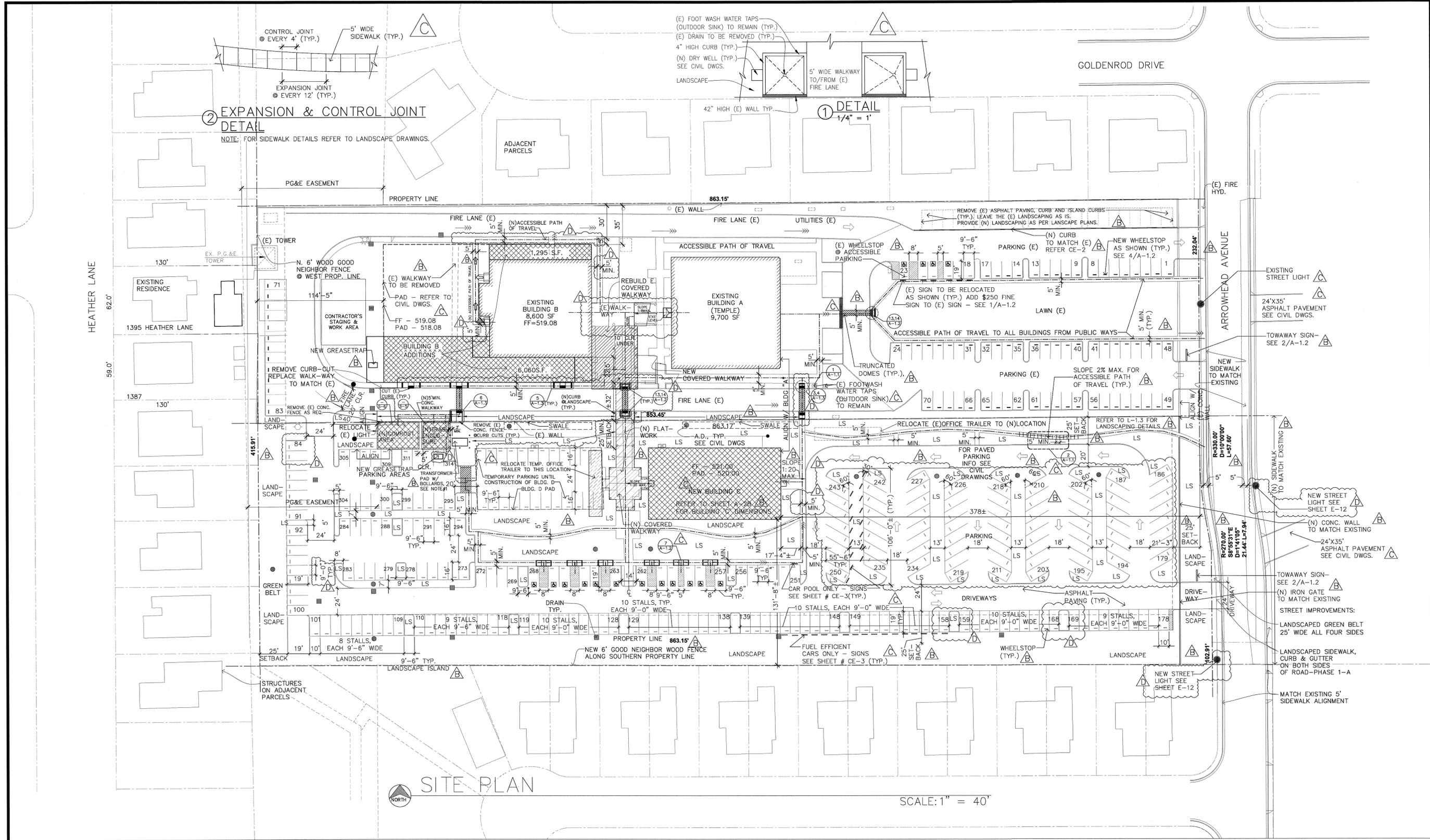


BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-B
 SITE MASTER PLAN
 AND PROPOSED BUILDING "C"

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-1.1



② EXPANSION & CONTROL JOINT DETAIL
 NOTE: FOR SIDEWALK DETAILS REFER TO LANDSCAPE DRAWINGS.

① DETAIL
 1/4" = 1'

LEGEND:

	EXISTING BUILDINGS
	PROPOSED ADDITION
	FUTURE
	(N) COVERED WALKWAY
	ACCESSIBLE PATH OF TRAVEL

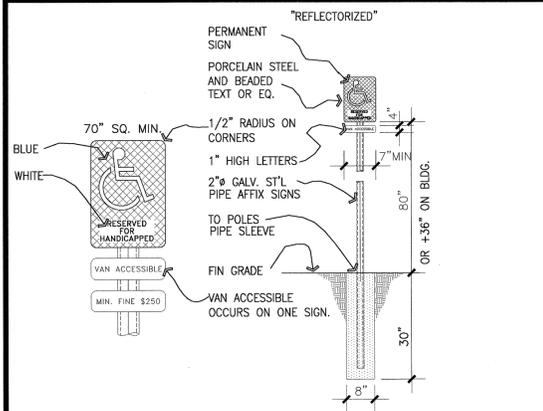
NOTES:

1. PROVIDE REMOVABLE BOLLARDS AS PER PG&E STANDARDS ON COMMON HOUSEKEEPING PAD. FOLLOW PG&E REQUIREMENTS FOR PLACEMENT & QUANTITY OF BOLLARDS.
2. REFER TO CIVIL SHEET # CE-3 FOR MORE INFORMATION ON SITE.
3. REBAR # 4, 12" EACH WAY TO BE PROVIDED @ ALL WALKWAYS.

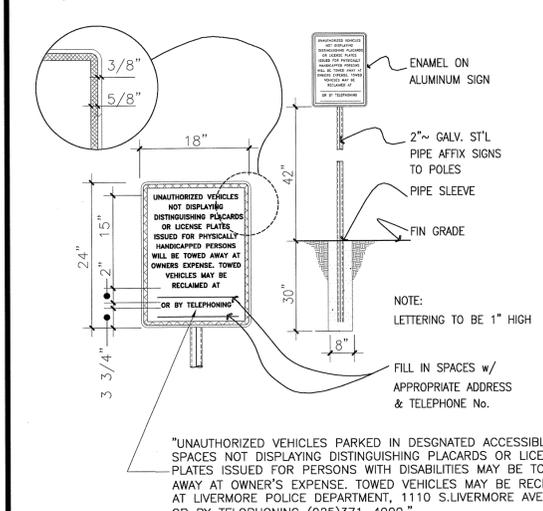
EXISTING # OF PARKING SPACES - 94 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 STALLS TO BE REMOVED AS PER CONDITIONS OF APPROVAL - 22
 TOTAL # OF (E) PARKING SPACES REMAINING - 72 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 PROPOSED # OF PARKING SPACES - 242 (INCLUDING 12 ACCESSIBLE PARKING SPACES,
 17 CAR/VAN POOL SPACES & 17 FUEL EFFICIENT CAR SPACES)

TOTAL # OF PARKING SPACES - 314
 ACCESSIBLE PARKING SPACES REQUIRED - 8
 PROVIDED - 16

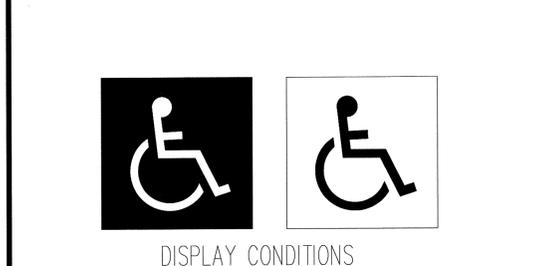
94 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 22
 72 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 242 (INCLUDING 12 ACCESSIBLE PARKING SPACES,
 17 CAR/VAN POOL SPACES & 17 FUEL EFFICIENT CAR SPACES)
 314
 8
 16



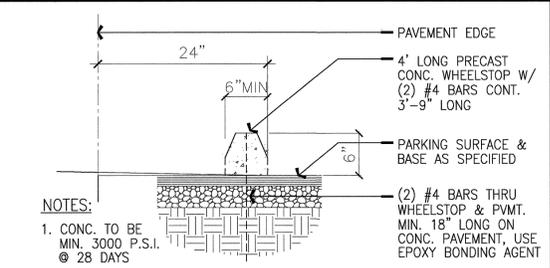
1 ACCESSIBLE PARKING SIGN
A-1.2 SCALE: NTS



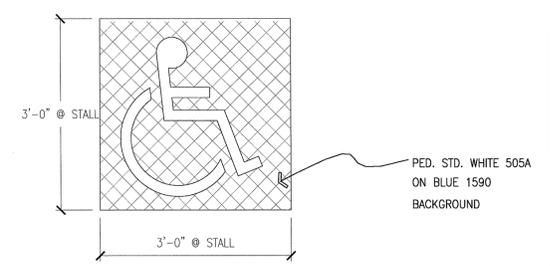
2 TOW AWAY SIGN
A1.2 SCALE: NTS



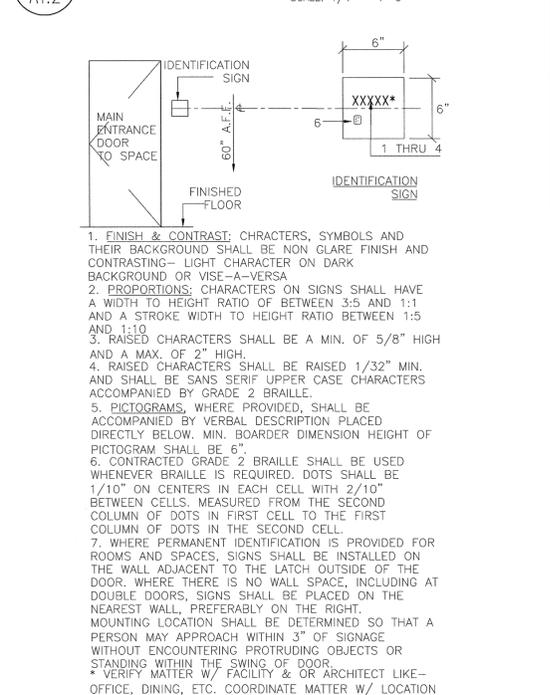
3 INTERNATIONAL SYMBOL
A1.2 SCALE: NTS



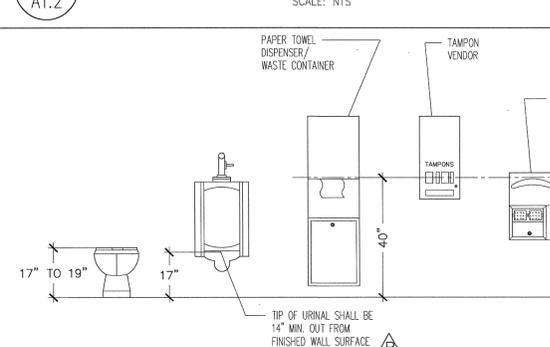
4 WHEEL STOP
A1.2 SCALE: NTS



5 PARKING ACCES. SYM.
A1.2 SCALE: 1/4" = 1'-0"

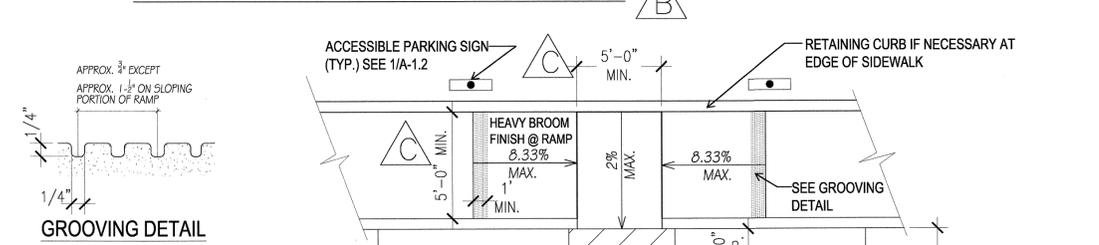


6 IDENTIFICATION SIGN
A1.2 SCALE: NTS

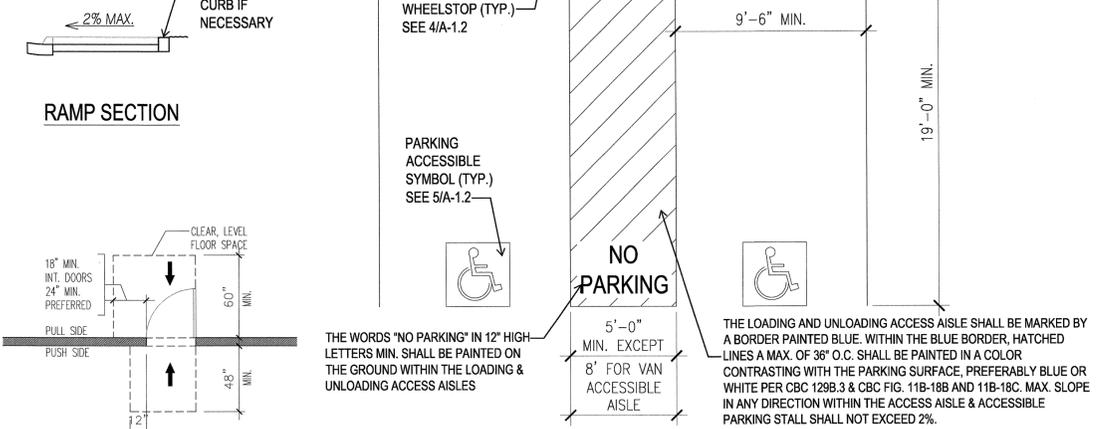


9 RESTROOM FIXTURE ACCESSORIES
A1.2 SCALE: NTS

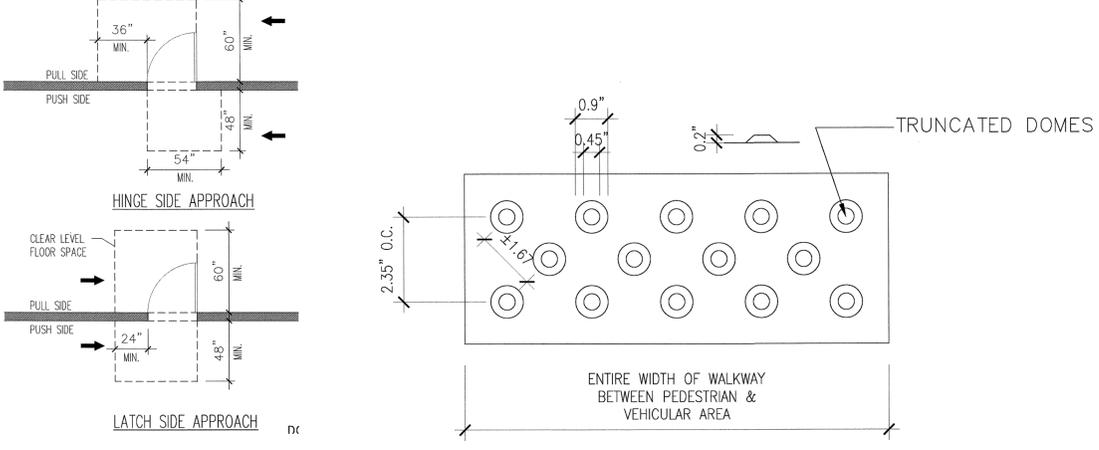
NOTE: ALL NOTES AND DETAILS AS PER CALIFORNIA TITLE 24 ACCESSIBILITY REQUIREMENTS.



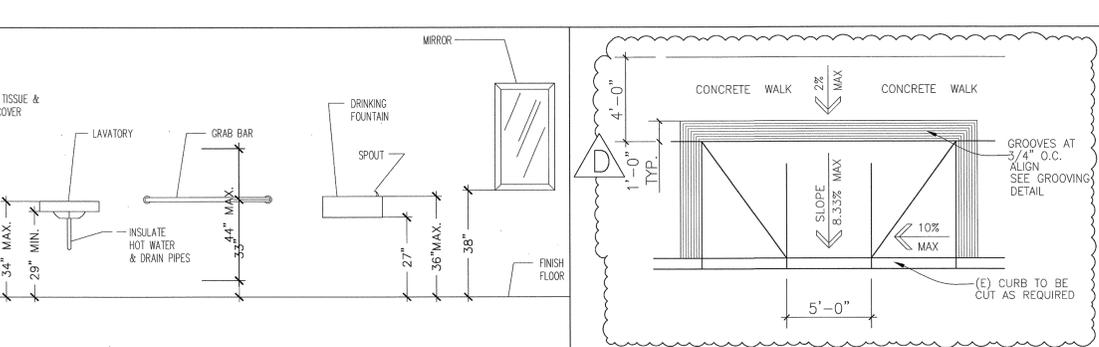
7 CURB DETAILS
A1.2 SCALE: 1/4" = 1'-0"



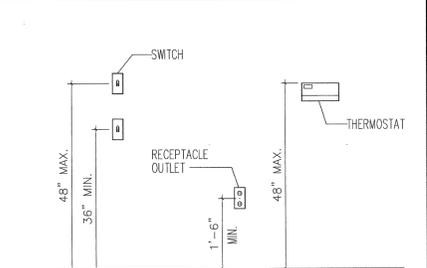
8 DOOR CLEARANCES
A1.2 SCALE: NTS



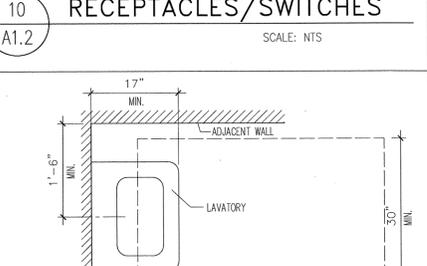
13 TRUNCATED DOMES DETAIL
A1.2 SCALE: 1" = 1'-0"



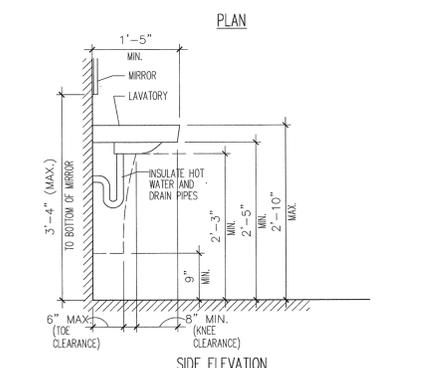
14 CURB RAMP DETAIL
A1.2 SCALE: 1" = 1'-0"



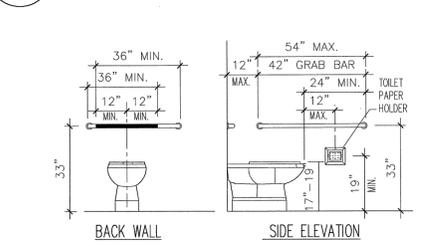
10 RECEPTACLES/SWITCHES
A1.2 SCALE: NTS



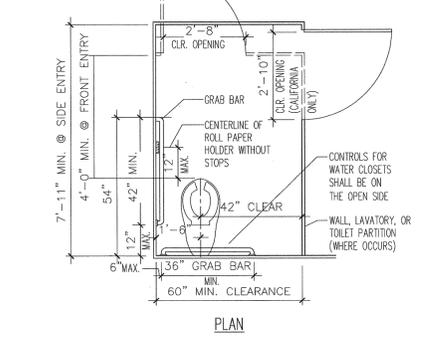
11 LAVATORY DETAILS
A1.2 SCALE: NTS



12 TOILET STALL DETAILS
A1.2 SCALE: NTS

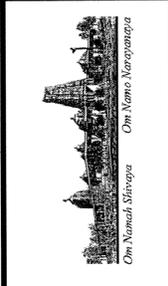


12 TOILET STALL DETAILS
A1.2 SCALE: NTS



12 TOILET STALL DETAILS
A1.2 SCALE: NTS

REVISIONS	BY
05-24-10	HCCC
08-06-10	BPC
10-07-10	BD
10-12-10	BPC
11-02-10	BPC



BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
1200 ARROWHEAD AVE. LIVERMORE, CA 94551

ACCESSIBILITY DETAILS

DATE
03/12/10
SCALE:
DRAWN BY:
RL
PROJECT:
ARROWHEAD

REVISIONS	BY
A	05-24-10 HCCC
B	08-06-10 BPC
C	11-01-10 BPC

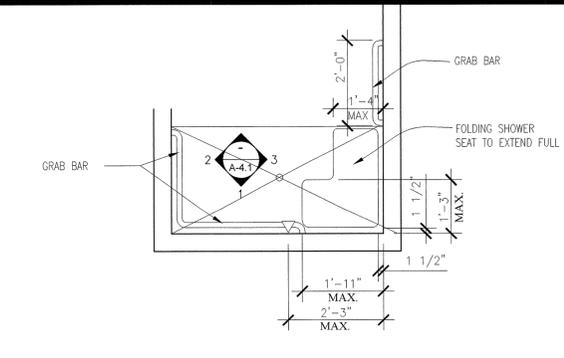


ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A
 ACCESSIBLE DETAILS
 ADDITIONS TO BUILDING "B"

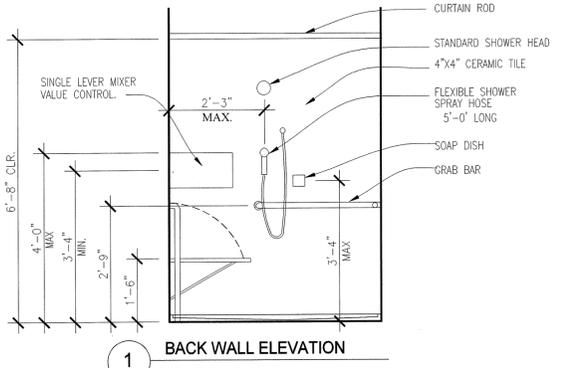
DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-1.3



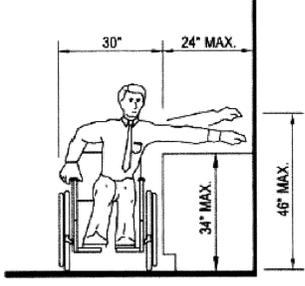
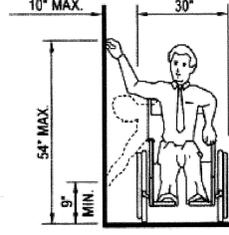
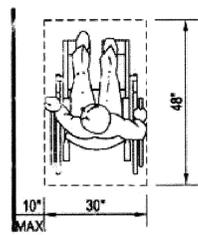
(a) CLEAR FLOOR SPACE PARALLEL APPROACH

(b) HIGH AND LOW SIDE REACH LIMITS

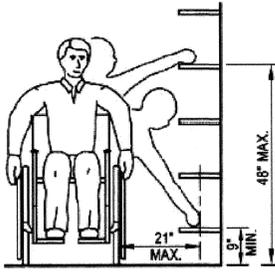


2 SEAT WALL ELEVATION

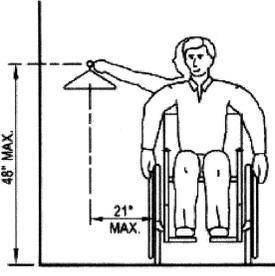
3 CONTROL WALL ELEVATION



(c) MAXIMUM SIDE REACH OVER OBSTRUCTION



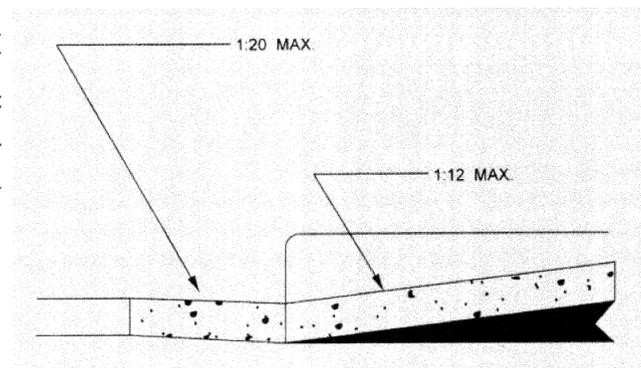
(d) SHELVES



(e) CLOSETS

FOR DETECTABLE WARNING REQUIREMENTS AT CURB RAMP, SEE SECTION 1127B.5, ITEM 7

3 RAMP DETAIL DETAILS NTS

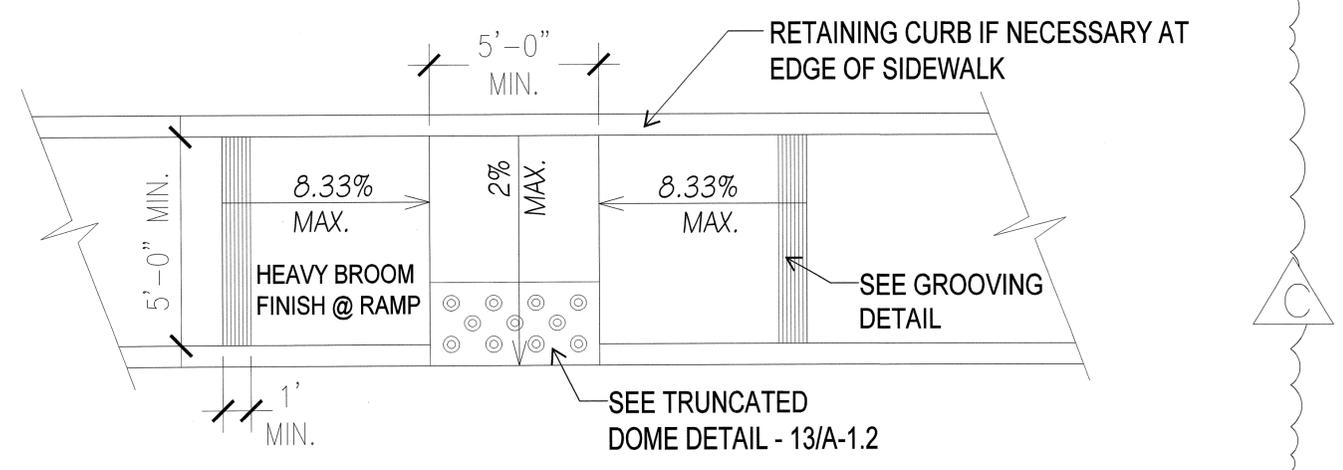


4 RAMP DETAIL DETAILS NTS

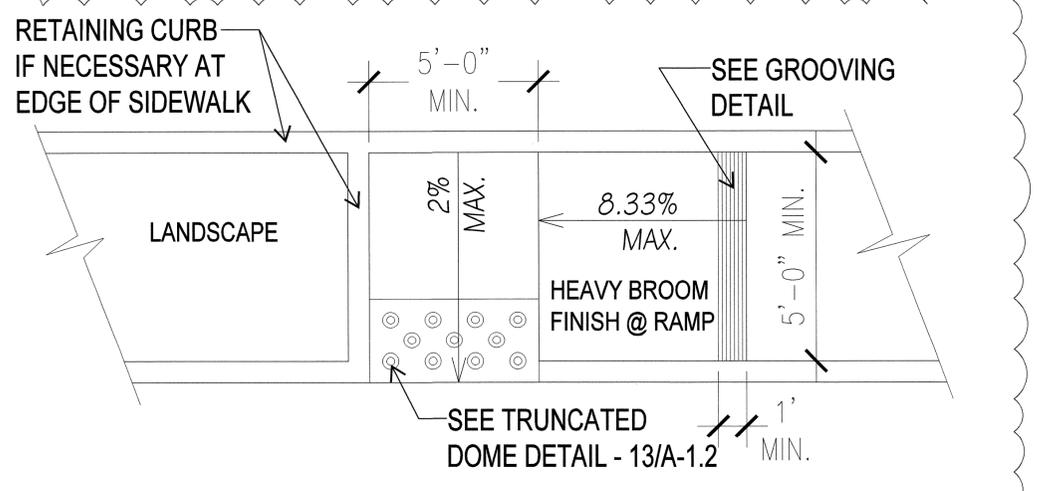
1 ROLL-IN SHOWER DETAILS NTS

SEE SHEET A-4.1 FOR ENLARGED RESTROOM PLANS

2 WHEELCHAIR ACCESS DETAILS NTS



5 CURB RAMP DETAIL DETAILS 1/2" = 1'



6 CURB RAMP DETAIL DETAILS 1/2" = 1'

FINISH SCHEDULE FOR REFERENCE ONLY														
NO.	ROOM NAME	FLOOR		BASE		NORTH WALL		EAST WALL		SOUTH WALL		CEILING		REMARKS
		FIN.	FIN.	FIN.	FIN.	FIN.	FIN.	FIN.	FIN.	FIN.	FIN.	FIN.		
1	HOTEL	WT	RD	GD	EP									
2	OFFICE	WT	RD	GD	EP									
3	STK	WT	RD	GD	EP									
4	DAY KIT	V	2VE	GD	EP									WRGB
5	KITCHEN	V	2VE	GD	EP									WRGB
6	APPLY	WT	RD	GD	EP									WRGB
7	DRESS	WT	RD	GD	EP									
8	TOILET	WT	RD	GD	EP									WRGB 4" MARBLE
9	STORAGE	WT	RD	GD	EP									
10	MEETING	WT	RD	GD	EP									
11	WOMEN (B)	WT	RD	GD	EP									
12	MEN (B)	WT	RD	GD	EP									
13	VEST (B)	WT	RD	GD	EP									
14	VEST (A)	WT	RD	GD	EP									
15	BATH	WT	RD	GD	EP									
16	W.H.	WT	RD	GD	EP									

(C) CARPET: NOT IN CONTRACT

VCT: ARMSTRONG 12"x12"x1/8" IMPERIAL EXCELON TILE
INSTALL/MFG. COLOR AS SELECTED
EDGE TRANS. STRIP & CONC. FLK

(V) SHEET VINYL: ARMSTRONG MEDITECH HEAT WELD CEAMIS
GIVE 6" W/MTL EDGE INSTALL/MFG
EDGE TRANS. STRIP & CONC. FLK

(RD) REOL. BASE: BURKEASE 4" TOP DET OR CARPET COLOR AS SELECT.

PAINT: WALL: FLAT (FP) (2) 560 DOORS: (2) 1650
KELLY-MOORE CHAMELEON (2) 1625 METAL: (1) 275 + (2) 1225
EPOXY (EPOXY) (1) 1970 + (2) 1790

CEILING TILE: A-1 CLASSIC-STEP/REGULAR WHITE
ARMSTRONG 24"x24"x3/4" WHITE W/STD WHITE 3/16" GRID
A-2 24"x24"x3/8" WHITE MINATONE 'CARTENA'
LAY-IN W/STD WHITE GRID
A-3 ARMASHIELD 24"x24"x3/4" LAY-IN W/STD WHITE GRID.

DOOR, FRAME AND HARDWARE SCHEDULE														
NO.	DESCRIPTION	DOOR				FRAME				HARDWARE				REMARKS
		TYPE	FIN.	FIN.	FIN.	TYPE	MATERIAL	FIN.	FIN.	TYPE	FIN.	FIN.	FIN.	
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31

HARDWARE

LOCKSETS: COHAGE A SERIES
LEVON HANDLES-40260

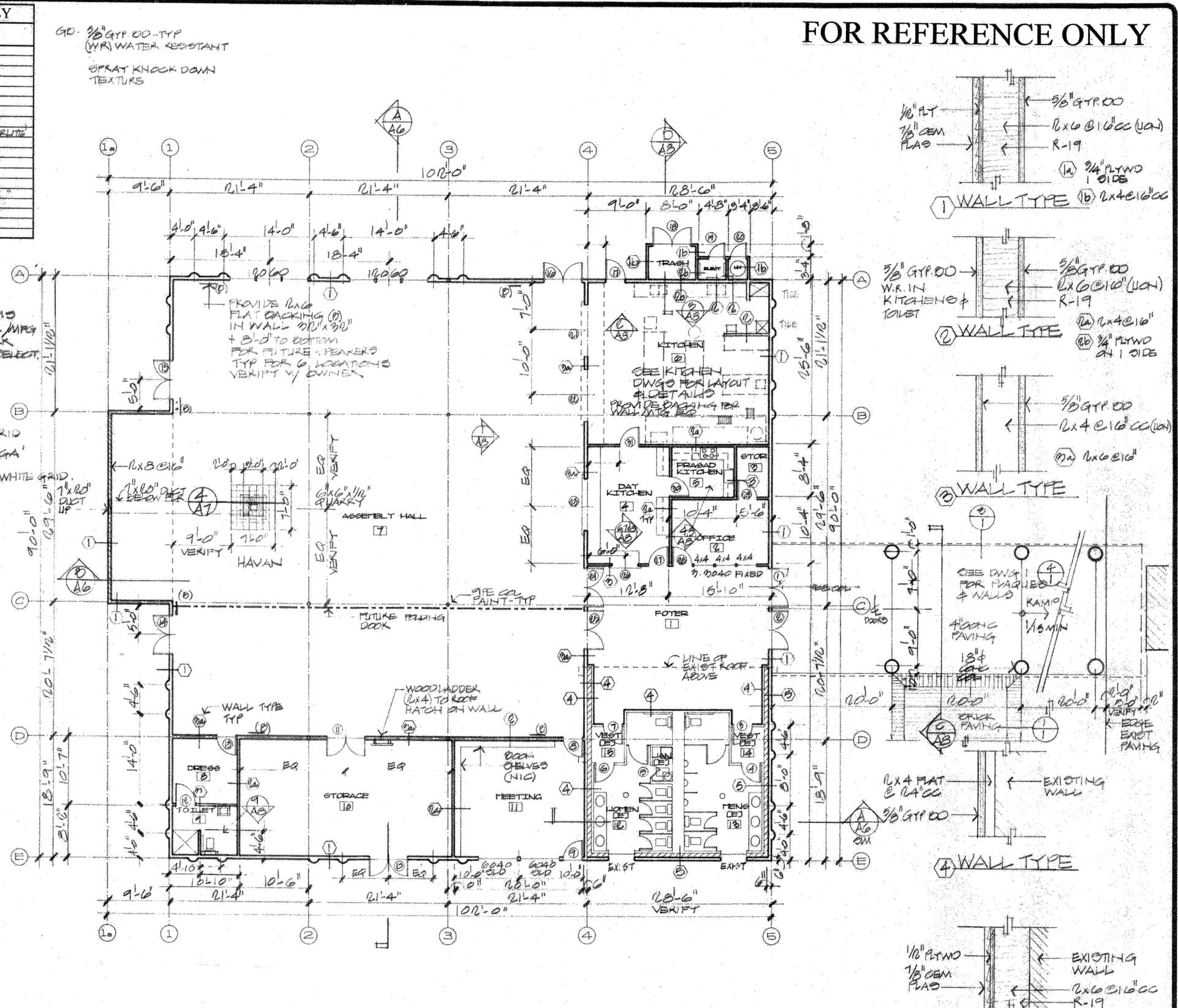
L-1 A100D CLASSROOM
L-2 A400 PRIVACY
L-3 A100 PASSAGE

HINGES: H-1 STANLEY 'LIFESPAN' 40260
CONCEALED BEARING
NON-REMOVABLE FHS ON CUTAWING

EXIT DEVICES: VON DUPRIN-40260
E-1 SINGLE-38Lx#06x0YL
E-2 PAIR-38Lx#06x0YL

CLOSERS: LCN 1460 SERIES-MATCH 40260

STOPS: HAGER 45 260
S-1-220W
S-2-240F (CARPET RISER)



FOR REFERENCE ONLY

FOR REFERENCE ONLY
FLOOR PLAN

SCALE 1/8" = 1'-0"

ALL PLUMBING WORK SHALL BE ON A DESIGN BUILD CONTRACT
WASTE, WATER, GAS, ROOF DRAINS, KITCHEN & GREASE TRAP
SEE KITCHEN DWGS FOR ADDITIONAL INFO.

REVISIONS	BY

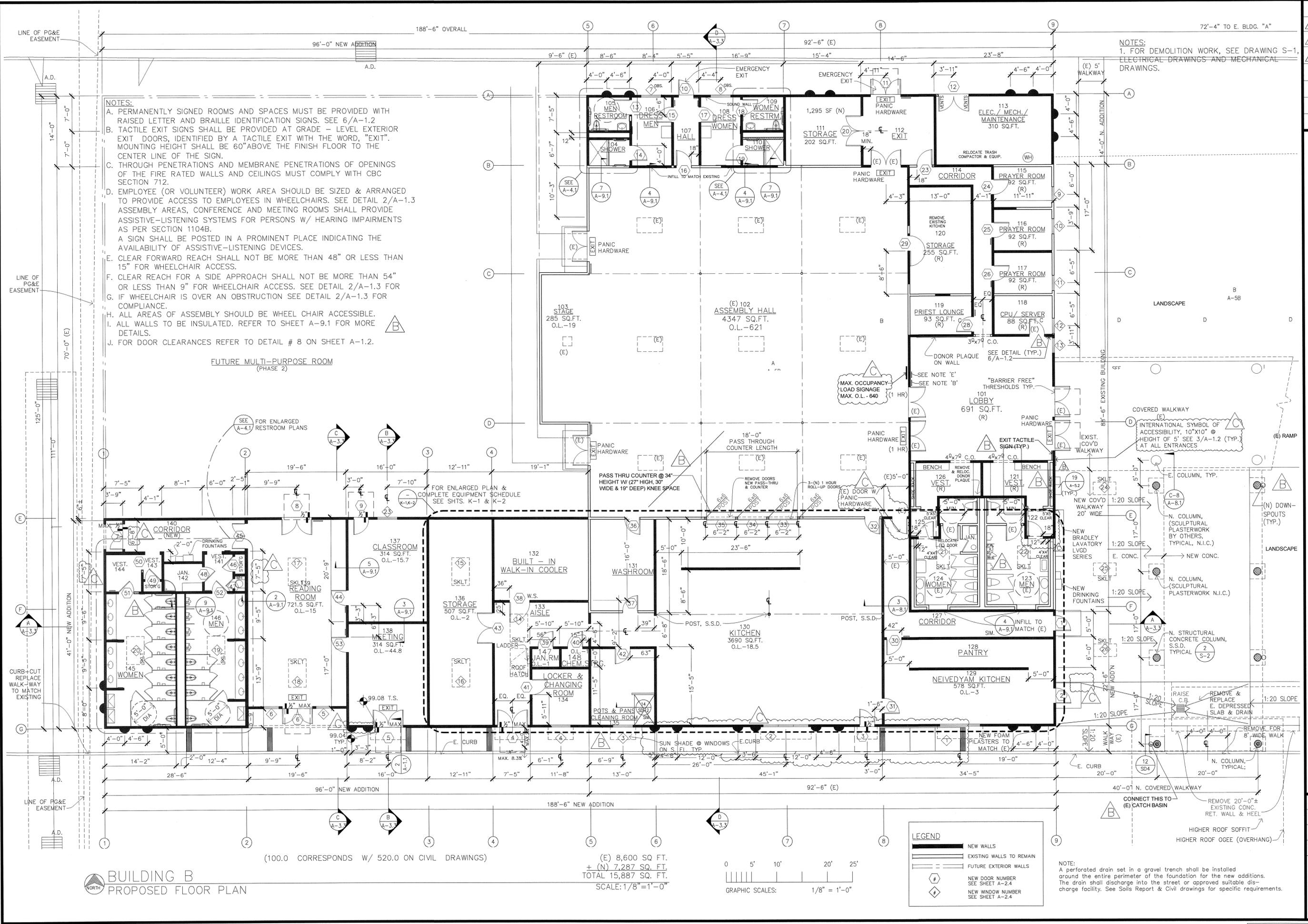
g. michael goldsworthy architect
4133 mohr avenue, suite h
pleasanton, california, 94566
[510] 462-0500 fax [510] 462-0502

HINDU COMMUNITY AND CULTURAL CENTER
1232 ARROWHEAD DRIVE
LIVERMORE, CA. 94550

DRAWN
CHECKED
DATE
PERMIT 6-20-90
SCALE
NOTED
JOB NO.

SHEET
A-2.1
OF SHEETS

FOR REFERENCE ONLY



ADDITION TO EXISTING BUILDING "B"

HINDU COMMUNITY and CULTURAL CENTER

1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A

ADDITIONS TO BUILDING "B"

PROPOSED FLOOR PLAN

DATE: 03/12/10
 SCALE: 1/8" = 1'-0"
 DRAWN BY: RL
 PROJECT: ARROWHEAD

A-2.2

REVISIONS	BY
△ 05-24-10	HCCC
△ 08-06-10	BPC

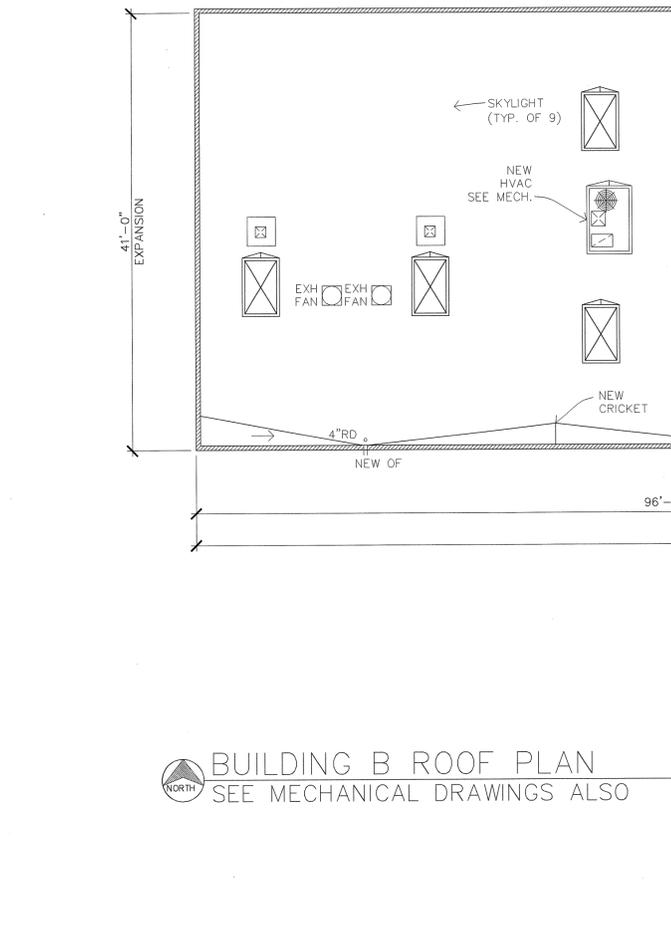
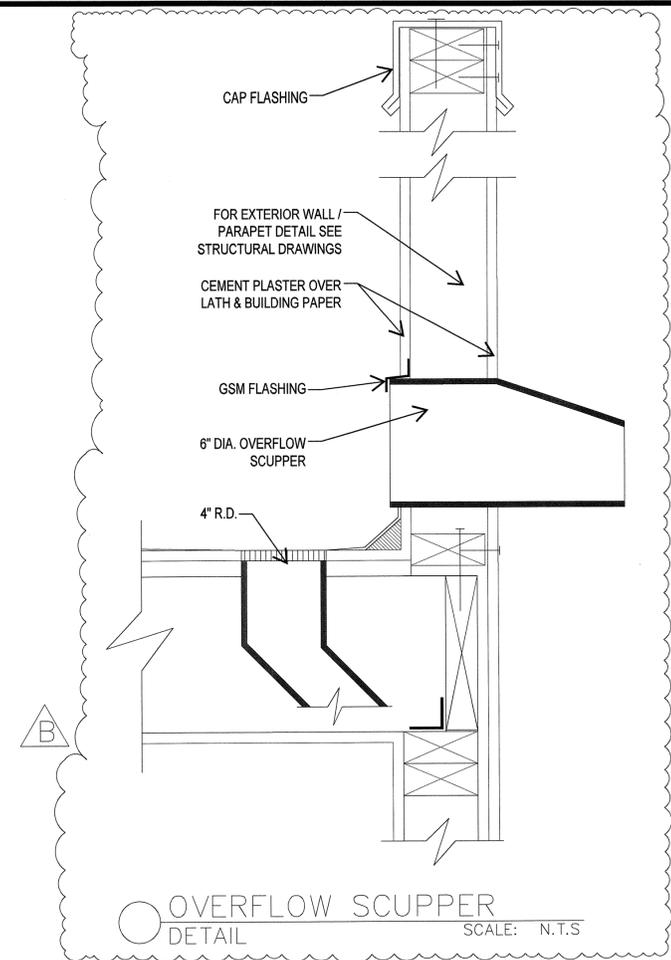
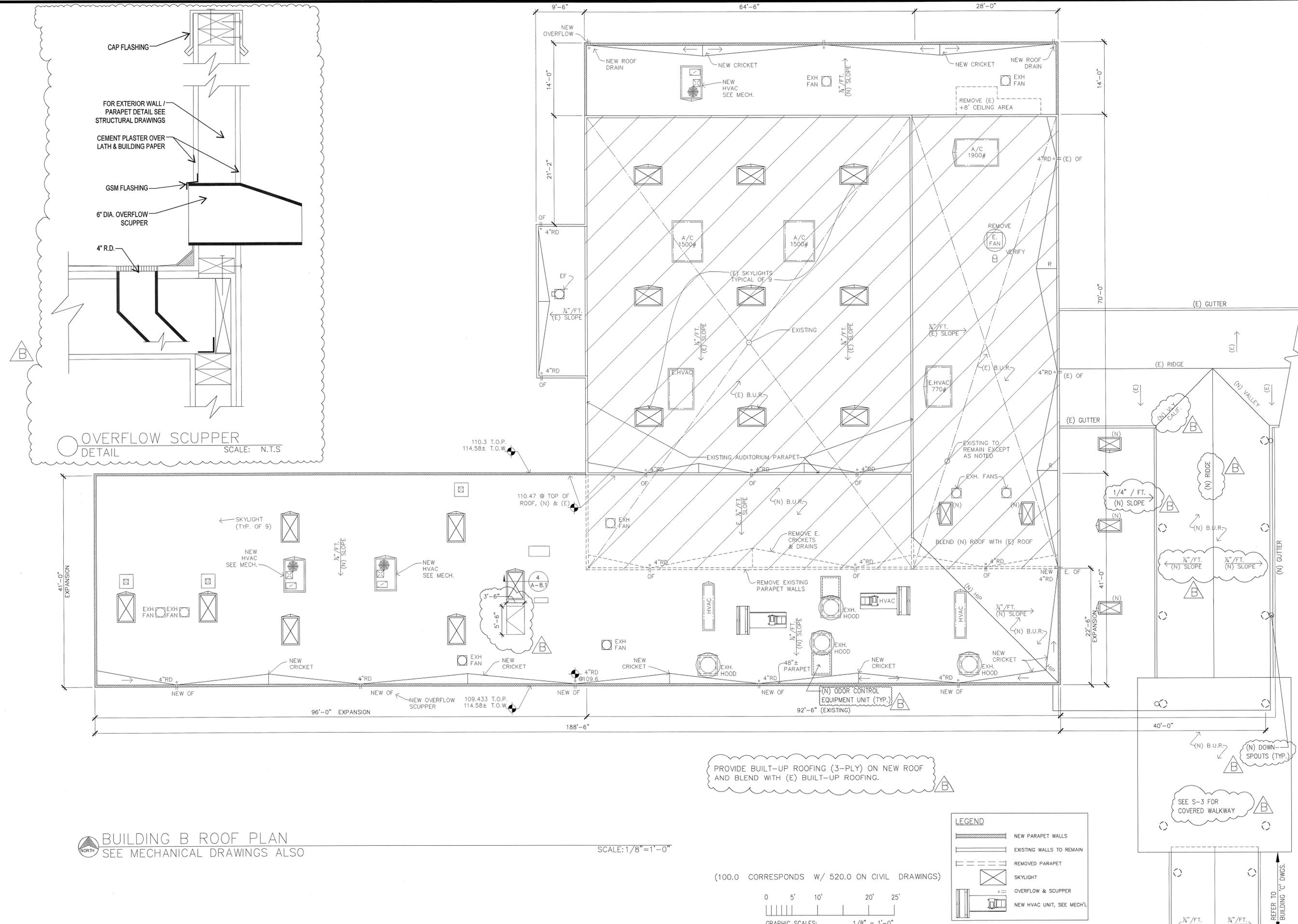


ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A
 ADDITIONS TO BUILDING "B"
 PROPOSED ROOF PLAN

DATE	03/12/10
SCALE:	1/8"=1'-0"
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-2.3



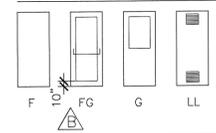
INTERIOR FINISH SCHEDULE

#	ROOM	FLOOR			BASE			WALL			CEILING			TRIM			OTHER			COMMENTS
		TILE	WOOD	CARPET	TILE	WOOD	RUBBER	SYN. BOARD TEXTURED	FRP PANELS-SEE ROOM FINISH NOTE # 1	STAINLESS STEEL PANEL 8" HIGH @ HOODS	SYN. BOARD TEXTURED WASHABLE T-BAR	HEIGHT	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
101	LOBBY (E)	SR																	ONE-HOUR 20 MINUTE DOORS	
102	ASSEMBLY HALL (E)	(E)									(E)									
103	STAGE (E)	(E)									(E)									
104	SHOWER (N)	SR			SR				G		G			G						
105	RESTROOM (N)	SR			SR				G		G			G						
106	DRESSING (N)		MF			SG			ES		F			SG						
107	HALL (N)		MF			SG			F		F			SG						
108	DRESSING (N)		MF			SG			ES		ES			SG						
109	RESTROOM (N)	SR							G		G			G						
110	SHOWER (N)	SR							G		G			G						
111	STORAGE (N)		MF						F		ES			SG					ONE-HOUR 20 MINUTE DOORS	
112	EXIT HALL (N)	SR				SG			F		F	T		SG					ONE-HOUR 20 MINUTE DOORS	
113	MECH./ELEC. (N)								F		F			SG						
114	CORRIDOR (N)		MF			SG			F		F			SG						
115	PRAYER ROOM (R)		MF			SG			F		F			SG						
116	PRAYER ROOM (R)		MF			SG			F		F			SG						
117	PRAYER ROOM (R)		MF			SG			F		F			SG						
118	CPU/ SERVER (R)		MF			SG			F		F			SG						
119	PRIEST LOUNGE (R)		MF			SG			F		F			SG						
120	STORAGE (R)		MF						F		F			SG						
121	VESTIBULE (R)		MF			SG						T		SG					OPEN TO ROOM 101	
122	VESTIBULE (E)	(E)			(E)				(E)		(E)			SG						
123	MEN'S RESTROOM (E)	(E)			(E)				(E)		(E)			SG						
124	WOMEN'S RESTRM (E)	(E)			(E)				(E)		(E)			SG						
125	VESTIBULE (E)	(E)			(E)				(E)		(E)			SG					OPEN TO ROOM 101	
126	VESTIBULE (R)		MF			SG			F		F	T		SG					OPEN TO ROOM 101	
127	CORRIDOR (N)		MF			SG			F		F			SG					ONE-HOUR 20 MINUTE DOORS	
128	PANTRY (N)	*SR			SR			G	✓		G			G					*QUARRY TILES	
129	KITCHEN (N)	*SR			SR			G	✓	✓	G			G					*QUARRY TILES	
130	KITCHEN (N)	*SR			SR			G	✓	✓	G			G					*QUARRY TILES	
131	WASHROOM (N)	*SR			SR			G	✓		G			G					*QUARRY TILES	
132	COOLER (N)	*SR			SR			MF	✓		MF			N					*QUARRY TILES	
133	aisle (N)		MF						F		F			SG						
134	OFFICE (N)		MF			SR			F		F			SG						
135	POTS & PANS CLEANING ROOM (N)	*SR			SR			F	✓		F			SG					*QUARRY TILES	
136	STORAGE (N)	*SR			SR			F	✓		F			SG					*QUARRY TILES	
137	CLASSROOM (N)		MF			MF			F		F			SG						
138	MEETING ROOM (N)		MF			SG			F		F	T		SG						
139	LIBRARY (N)	SR							F		F	T		SG					ONE-HOUR 20 MINUTE DOORS	
140	CORRIDOR (N)		MF			SG			F		F	T		SG						
141	VESTIBULE (N)	SR			SR				G		G			G						
142	JANITOR (N)	SR			SR				G		G			G						
143	VESTIBULE (N)	SR			SR				G		G			G						
144	VESTIBULE (N)	SR			SR				G		G			G						
145	WOMEN'S RESTRM (N)	SR			SR				G		G			G						
146	MEN'S RESTROOM (N)	SR			SR				G		G			G						
147	JANITORIAL ROOM (N)	*SR			SR				G	✓	G			G					*QUARRY TILES	
148	CHEMICAL STORAGE (N)	*SR			SR				G		G			G					*QUARRY TILES	

NOTE: ALL SERVING AREA'S (EX. - CLOSETS), SHALL BE FURNISHED THE SAME AS THE AREAS THEY SERVE. UNFINISHED AREAS ARE NOTED AS SHOWN ON PLANS

SYMBOLS: F = FLAT SG = SEMI-GLOSS G = GLOSS MF = MANUFACTURER'S FINISH
 S = STAIN V = VARNISH ES = EGGSHELL
 U = URETHANE SR = SLIP RESISTANT SEALER N = NO FINISH

DOOR TYPES



SYMBOLS:
 F = FLUSH
 FG = FULL GLASS
 G = HALF GLASS
 LL = LOUVERED T & B
 N = NARROW LITE

HARDWARE GROUPS

GROUP 1 HINGES 3 ANSI F88
 LOCKSET 1
 CLOSER 1
 SMOKE SEAL 1 SET

GROUP 2 HINGES 3
 LOCKSET 1 ANSI F84
 ACCOUSTIC SEAL 1 SET

GROUP 3 HINGES 3
 LOCKSET 1 ANSI F91

LOCKSETS SHALL BE KEYPED IN ACCORDANCE WITH HCCC

WINDOW/SKLT SCHEDULE*

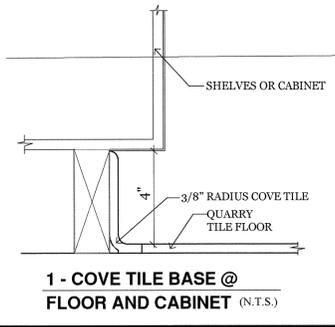
*NOTE: FIELD VERIFY ALL WINDOW DIMENSIONS PRIOR TO ORDERING.

#	SIZE (W X H)	TYPE	ROOM #	MNFR.	CONSTRUCTION			COMMENTS
					TEMPERED	DBL. GLZD.		
1	8'-0" X 3'-6"	SLIDER	129				✓	
2	3x(3'-0" X 3'-6")	SINGLE HUNG	130				✓	
3	4'-0" X 3'-6"	SINGLE HUNG	135				✓	
4	4'-0" X 3'-6"	SINGLE HUNG	134				✓	
5	3'-0" X 4'-0"	FIXED SIDELITE	139		✓		✓	
6	3'-0" X 4'-0"	FIXED SIDELITE	139		✓		✓	
7	4'-0" X 4'-0"	SINGLE HUNG	106		✓		✓	
8	4'-0" X 4'-0"	SINGLE HUNG	108		✓		✓	
9	3'-0" X 4'-0"	SINGLE HUNG	115		✓		✓	
10	3'-0" X 4'-0"	SINGLE HUNG	116		✓		✓	
11	3'-0" X 4'-0"	SINGLE HUNG	117		✓		✓	
12	3'-0" X 4'-0"	SINGLE HUNG	118		✓		✓	
13	3'-0" X 4'-0"	SINGLE HUNG	101		✓		✓	
14	3'-6" X 5'-6"	SKYLITE	133	OKEEFE				FLAT GLASS MODEL
15	3'-6" X 5'-6"	SKYLITE	136	OKEEFE				FLAT GLASS MODEL
16	3'-6" X 5'-6"	SKYLITE	136	OKEEFE				FLAT GLASS MODEL
17	3'-6" X 5'-6"	SKYLITE	139	OKEEFE				FLAT GLASS MODEL
18	3'-6" X 5'-6"	SKYLITE	139	OKEEFE				FLAT GLASS MODEL
19	3'-6" X 5'-6"	SKYLITE	146	OKEEFE				FLAT GLASS MODEL
20	3'-6" X 5'-6"	SKYLITE	145	OKEEFE				FLAT GLASS MODEL
21	2'-6" X 4'-6"	SKYLITE	124 (E)					
22	2'-6" X 4'-6"	SKYLITE	123 (E)					
23	4'-0" X 4'-0"	SINGLE HUNG	137		✓			SAFETY GLAZING
24	4'-0" X 2'-0"	SKYLITE	COV'd WALKWAY	OKEEFE				FLAT GLASS MODEL
25	4'-0" X 2'-0"	SKYLITE	COV'd WALKWAY	OKEEFE				FLAT GLASS MODEL
26	4'-0" X 2'-0"	SKYLITE	COV'd WALKWAY	OKEEFE				FLAT GLASS MODEL

NOTES:
 1. All windows to come complete with screens.
 2. Field verify all door and window sizes, egress & tempering requirements prior to ordering and after all openings have been framed.
 3. Security Grid @ Skylites. See A-0.1
 Each exterior door shall be secured as follows:
 1. Exterior doors shall be of solid core no less than 1 3/4" thickness.
 2. Exterior doors shall have a self-locking lock with dead latch, and a deadbolt lock with one inch throw.
 3. The locking device on all exterior exit doors shall be so constructed that both deadbolt and dead latch can be retracted by a single action of the inside door knob (Openable with one opening motion).
 4. The dead latch lock and deadbolt lock shall be keyed alike (one key will fit both locks).
 5. Pairs of doors shall have flush bolts with a minimum throw of 5/8 inch at the head and foot (floor and ceiling) of the inactive leaf.
 6. Door stop on a wooden jamb for an inswing door shall be of one piece construction with the jamb joined by a rabbet.
 7. Non-removable pin or interlocking stud-type hinge shall be used in pin-type hinge which is accessible from the outside when the door is closed.
 8. Cylinders shall be so designed or protected that they cannot be gripped by pliers or other wrenching devices.
 9. The lock or locks shall be operated from the inside of the door by a device not requiring a key.
 10. The required force to open the doors will not exceed 5 pounds for exterior and interior doors and 15 pounds for fire rated doors.
 11. The bottom 10" of doors in the accessible path of travel shall have a smooth, uninterrupted surface.
 12. All doors to be equipped with single effort, non-grasp hardware (i.e. LEVER TYPE, PANIC BARS, PUSH-PULL ACTIVATING BARS) centered between 30" and 44" above the floor.
 13. All egress doors shall be readily openable from the egress side without the use of a key or any special knowledge or effort.
 14. All existing exits from the assembly hall shall have panic hardware. If they do not, panic hardware will be required.
 15. Safety glazing should be provided for Window mark 23.
 16. Panic hardware must be provided wherever an exit sign is noted on the electrical drawings from the assembly space or at a door fed by that exit.

ROOM FINISH NOTES:
 1. Install FRP (full height 8' min.) behind all sinks; 3 compartment sink, food preparation sink, mop sink and food preparation tables (wet or food splash zones).
 2. All ceilings in pantry, storage, washrooms, pot/pan cleaning area are required to be smooth, washable, durable and light in color (off white).
 3. Floors in food preparation, cooking, dishwashing/sink, pot/pan areas, coolers and restrooms are required to be integrally coved, with floor material extending a minimum of 4" up the wall with minimum of 8" radius (no base top set allowed). See detail # 1/A-2.4.
 4. For all hood systems SS specs to be submitted w/ hood information.

NOTE: ALL NEW DOORS HAVE HEX SYMBOL AS DOOR NUMBER. FOR CLARITY (E) DOORS ARE NOT SHOWN

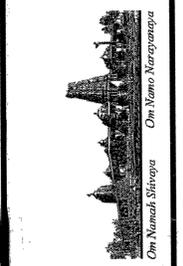


DOOR SCHEDULE*

*NOTE: FIELD VERIFY ALL DOOR DIMENSIONS PRIOR TO ORDERING.

#	SIZE (W X H)	TYPE	ROOM #	MATERIAL	CONSTRUCTION		HW/R GROUP	COMMENTS	WEATHER-STRIP
					THICKNESS	FRAME			
1	3'-0" x 7'-0"	G	127	HOLLOW METAL	1 3/4"	METAL	1	PANIC HARDWARE 10" MIN. @ BOTTOM	
2	3'-0" x 7'-0"	N	129	HOLLOW METAL	1 3/4"	METAL	1		✓
3	3'-0" x 7'-0"	N	130	HOLLOW METAL	1 3/4"	METAL	1		✓
4	6'-0" x 7'-0"	N	133	HOLLOW METAL	1 3/4"	METAL	2	PAIR OF 3'-0" x 7'-0" USE SLIP-ON DOOR FRAME	✓
5	6'-0" x 7'-0"	G	138	HOLLOW METAL	1 3/4"	METAL	2	PAIR OF 3'-0" x 7'-0" USE SLIP-ON DOOR FRAME	✓
6	6'-0" x 7'-0"	FG	139	HOLLOW METAL	1 3/4"	METAL	1	PAIR OF 3'-0" x 7'-0" PANIC HARDWARE	✓
7	5'-0" x 7'-0"	FG	140	HOLLOW METAL	1 3/4"	METAL	1	PAIR OF 3'-0" x 7'-0" USE SLIP-ON DOOR FRAME	✓
8	6'-0" x 7'-0"	G	139	HOLLOW METAL	1 3/4"	METAL	1	PAIR OF 3'-0" x 7'-0"	✓
9	3'-0" x 7'-0"	N	137	HOLLOW METAL	1 3/4"	METAL	2		✓
10	3'-0" x 7'-0"	G	107	HOLLOW METAL	1 3/4"	METAL	3	SELF-CLOSING PANIC HARDWARE	✓
11	6'-0" x 7'-0"	FG	112	HOLLOW METAL	1 3/4"	METAL	1	PAIR OF 3'-0" x 7'-0" PANIC HARDWARE	✓
12	6'-0" x 7'-0"	LL	113	HOLLOW METAL	1 3/4"	METAL	3	PAIR WITH HIGH AND LOW VENTS	✓
13	3'-0" x 7'-0"	F	105	WOOD MATCH (E)	1 3/4"	METAL	3		✓
14	3'-0" x 7'-0"	F	104	WOOD MATCH (E)	1 3/4"	METAL	3		✓
15	3'-0" x 7'-0"	N	106	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	✓
16	3'-0" x 7'-0"	N	107	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING PANIC HARDWARE	✓
17	3'-0" x 7'-0"	N	108	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	
18	3'-0" x 7'-0"	F	109	WOOD MATCH (E)	1 3/4"	METAL	3		
19	3'-0" x 7'-0"	F	110	WOOD MATCH (E)	1 3/4"	METAL	3		
20	6'-0" x 7'-0"	F	111	WOOD MATCH (E)	1 3/4"	METAL	3	PAIR OF 3'-0" x 7'-0"	
21	OMITTED							NOT USED	
22	OMITTED							NOT USED	
23	3'-0" x 7'-0"	N	114	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING & WEATHER STRIPPING	✓
24	3'-0" x 7'-0"	N	115	WOOD MATCH (E)	1 3/4"	METAL	2	SELF-CLOSING	
25	3'-0" x 7'-0"	N	116	WOOD MATCH (E)	1 3/4"	METAL	2	SELF-CLOSING	
26	3'-0" x 7'-0"	N	117	WOOD MATCH (E)	1 3/4"	METAL	2	SELF-CLOSING	
27	OMITTED							NOT USED	
28	3'-0" x 7'-0"	N	119	WOOD MATCH (E)	1 3/4"	METAL	2	SELF-CLOSING	
29	3'-0" x 7'-0"	F	120	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	
30	3'-0" x 7'-0"	N	128	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	
31	3'-0" x 7'-0"	N	129	WOOD MATCH (E)	1 3/4"	METAL	3		
32	3'-0" x 7'-0"	N	130	STEEL	1 3/4"	METAL	1	SELF-CLOSING	
33	5'-6" x 4'-0"	ROLL-UP	130	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	
34	5'-6" x 4'-0"	ROLL-UP	130	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	
35	5'-6" x 4'-0"	ROLL-UP	130	WOOD MATCH (E)	1 3/4"	METAL	1	SELF-CLOSING	
36	3'-0" x 7'-0"	N	131	STEEL	1 3/4"	METAL	1	SELF-CLOSING	

REVISIONS	BY
1	AS
2	AS
3	AS
4	AS
5	AS
6	AS
7	AS
8	AS
9	AS
10	AS



ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

BUILDING

DATE
 5-24-10
 SCALE
 AS NOTED
 DRAWN BY
 PROJECT
 ARROWHEAD

A25

SPECIFICATIONS

1.01 GENERAL CONDITIONS

The Contractor shall comply with the obvious intent and meaning of these plans and specifications, which shall be construed to include all material, measures and modes of work necessary to complete the work herein described in a workmanlike manner, in strict accordance with these plans and specifications and to the satisfaction of the Owner. Building shall be 100% watertight. For any problem questioning ability to warranty notify the architect. The Contractor shall be held responsible for and must make good any defects through faulty, improper or inferior workmanship arising or discovered in any part of his work within one (1) year after completion and acceptance of same. The Owner reserves the right to reject any or all bids without explanation of any kind.

1.02 ORDINANCES AND SUBCONTRACTORS

The Contractor shall procure and pay for all civil inspections, permits and certificates of inspection as required. It shall be the Contractor's responsibility to see that all subcontracted work includes everything the plans and specifications call for in the subcontracted scope of work. Each Contractor will be responsible for conformance of his work with all rules, regulations, ordinances and codes or regulatory agencies affect his work, whether or not shown in the plans and specifications, including all applicable OSHA and California/OSHA orders.

1.01 INSURANCE

Fire Insurance: Owner shall, at his expense, have the entire work (less ground and foundations) insured from loss by fire with a policy made out to the Owner and Contractor as their interest may appear. The policy to run until work is finally accepted.

Liability Insurance: The General Contractor and the subcontractors shall maintain Workmen's Compensation Insurance as required by state laws. In addition, the Contractor shall show Certification of Insurance for Comprehensive General Liability Insurance Policy (with limits for bodily injury of \$50,000 each person/\$100,000 each accident and with limits for property damage of \$10,000 each accident or its equivalent).

Bonds: Contractor shall provide bonds, labor and material and performance, for 100% coverage.

1.04 EXAMINATION OF THE SITE

Contractor shall visit the building site and become familiar with existing conditions before submitting estimates. Failure to do so shall not constitute a cause for future complaint or claim for extra.

1.05 DRAWINGS AND SPECIFICATIONS

a. The drawings, which are a part of these specifications, show the necessary grading for the general construction for the building.

b. The drawings and specifications are to be considered as cooperative and any work of materials shown or mentioned in either one shall be executed as if they were shown or mentioned in both.

c. Figures shall have precedence over scaled measurements and details over general drawings.

1.06 INTERPRETATION OF PLANS

Neither the Contractor nor his workers, nor any subcontractor or supplier, shall make any assumptions as to the intent or meaning of these plans and specifications. The Architect will make all decisions regarding the intent and meaning of all details of this contract and the decision shall be final. Any information required to fully clarify the intent and meaning of all details shall be requested from the Architect prior to bidding. After a building contract is signed, the Contractor will not be allowed extra costs for any items of work shown on the drawings and not included in his bid.

1.07 ALLOWANCES

Allowances provided in this contract are to be used only for material cost in the fixture and hardware categories. Labor to install allowed materials to be included in base bid.

1.08 CHANGE ORDERS

Amounts of extras of credits for changed items shall be agreed upon by the Owner and the Contractor and written authorization shall be issued to the Contractor before proceeding with the work. Charges for work done without this written authorization will not be accepted.

1.09 CLEANING

a. This Contractor shall remove all debris from the building site and in general keep the work as clear of rubbish as possible and upon completion, all shall be left "broom clean".

b. This Contractor shall have all glass and plumbing fixtures cleaned by professional cleaners.

1.10 TEMPORARY SERVICES

a. Water: The General Contractor shall pay for all water used in the construction of the building.

b. Temporary Power: Electric power used in construction - the Contractor shall pay for temporary connection and electricity used.

c. The General Contractor shall provide temporary Sanitation Facilities.

1.11 LITIGATION

1.12 LIENS

1.13 INSPECTOR

See drawings for required inspections.

1.14 FEES

Unless specifically excluded on the drawings, the Contractor shall pay for all permits and connection fees to local utilities companies and districts for connections of utilities and include all utilities fees, assessments, costs whatsoever in contract.

DIVISION 2 SITE WORK (see full specs in site development drawings)

2A.01 DEMOLITION

2A.02 INSTALLATION

Install new curb and gutter and driveway work, where shown on drawings, in full accordance with City of Livermore standards and requirements.

2A.03 PERMITS

Obtain and pay for encroachment of other permits required for this work, and all related inspections.

2B.01 ON SITE IMPROVEMENTS

Coordinate with other trades. Prior to demolition, coordinate schedule and irrigation subcontractors to allow their removal of

2B.02 GRUBBING AND BACKFILL

2B.03 GRUBBING AND BACKFILL

2B.05 DUST CONTROL

During all stages of excavation and grading, provide labor and equipment to minimize drifting or blowing dust.

2B.06 PAVING

Paving shall be 2" of plant mix applied on 4" Class II aggregate base crushed rock rolled flat with 10 ton rubber-tired roller, hand finished as required for first quality job. No pools of water permitted. All paving to be of material and workmanship specified for Type II Paving, California State Highway Department and AASHTO Standards for Medium Traffic. All paving shall slope to drain. Apply Fog-seal coat after compaction of base or AC.

2B.07 STRIPING

Use lettering for compact stalls, arrows, symbols and curb at handicap stalls. Traffic paint white, blue accents, brush, spray or roller apply, 4" width unless noted otherwise.

2B.08 PARKING BUMPERS

Where shown, apply with epoxy and rebar pins to pavement. Bumpers to be minimum 6" high, of length shown, minimum 3,000 PSI concrete reinforced continuous length of the bumper.

2C.01 LANDSCAPING AND IRRIGATION

DIVISION 3A CAST-IN-PLACE CONCRETE

3A.01 SCOPE OF WORK

Provide and install all concrete, reinforcing and forms conforming to shape, lines and dimensions shown on the drawings.

3A.02 CONCRETE

Portland cement shall be Type I or Type II. Coarse aggregate shall not exceed the following size limits: For Slabs: 3/4" slump maximum 4 - 1/2"

For Walls and Footings: 1 - 1/2" slump maximum 4 - 3/4"

Transit mixed concrete shall have a minimum of six (6) sacks of cement per cubic yard. No admixtures or water shall be added to cement prepared to this specification without Architect's permission. Provide continuous inspection by testing lab of all concrete over 3,000 PSI. Submit mix design to Architect.

3A.03 CONCRETE SLABS

Before concrete slab on aggregate base is laid, level off and compact rock fill to 95% compaction. See Section 2B. Reinforced concrete slabs, place in center of slab. Finish by screeding, floating and troweling concrete to a smooth dense finish. See drawings for special finishes. Slope to floor drains where shown. Exposed concrete floors shall be suitably finished. Slabs shall be sealed and finished with "Stanlux Con-trete" as manufactured by Standard T. Chemical Company.

3A.04 CONCRETE FORMS

Forms shall be of wood, steel or other approved material. All forms must be true to line, plumb and level with joints fairly tight.

3A.05 REINFORCEMENT

Reinforcement shall be deformed structural grade billet steel conforming to ASTM Specification A165-40, latest designation.

DIVISION 4 MASONRY

4A.01 SCOPE OF WORK

DIVISION 5 METALS

5A.01 SCOPE OF THE WORK

Furnish and install all structural steel and miscellaneous iron shown on the drawings and not included in this bid.

5A.02 STRUCTURAL STEEL

All structural steel shall be fabricated and erected in accordance with the latest specifications of the AISC.

5A.03

Furnish all carpentry bolts, steel angles, clips and railings, etc. as shown and required.

5A.04 MATERIALS

- a. Structural Steel
- b. Paint
- c. High strength bolts

Section 5B ARCHITECTURAL METAL

5B.01 WORK INCLUDED

- a. Chain link fencing
- b. Stair railing
- c. Ornamental metal railings
- d. Ladders, O-Keefe metal railings as noted on the drawings.
- e. Submit Shop Drawings for all rails.

DIVISION 6 CARPENTRY

6A.01 SCOPE OF THE WORK

All rough, finished carpentry and millwork, installation of finish hardware and related items as shown and / or specified herein.

6A.02 MATERIALS

Lumber: Grade lumber in accordance with current grading rules #16 of the WCLA

Plywood: Grade in accordance with Commercial Standards. CS-45-48 (see specs on structural drawings, sheet SD-1)

6A.03 UNDERLAYMENT

6A.04 FRAMING

Frame, brace, anchor and tie all members together in a rigid manner. Make cuttings full and square. Do not cut structural members without Engineer's approval.

All members shall be securely nailed in place with proper size nails and secured rigidly in place. Studs shall be 16" on center, doubled at corners, partitions and sides of openings. Finish and install all rough hardware and install steel angles and bolts required and finished in Section 5A. Receipt and install all finish hardware accurately and neatly. All work to conform to the 2007 CBC.

6A.05 TRUS-JOIST

Trus-joist, where shown, shall be as manufactured by Trus-joist MacMillan Company, Inc. or approved equal. Trus-joists and all work attached thereto shall be installed in strict accordance with manufacturer's instructions and details. (see specs. on structural drawings).

6A.06 GLU-LAMS

Glu-lams: Douglas fir in accordance with WCLA Standard Specifications, exterior glue. Industrial appearance end seal. Protect from moisture at all times prior to weather-tight building. (see specs. on structural drawings)

DIVISION 6B - MILLWORK

6B.01 SCOPE OF THE WORK

DIVISION 7 - MOISTURE PROOFING

7A.01 SCOPE OF THE WORK

Provide and install all roofing as shown on the drawings and specifications herein. Install hot asphalt and two (2) 15# felt waterproofing on walls below grade and above finish floor level. Slit and reseal all fishmouths.

7A.02 MATERIAL AND WORKMANSHIP

Materials shall be new, furnished and installed in complete accordance with manufacturer's directions.

7A.03 ACCEPTABLE MANUFACTURERS

- a. The Celotex Corporation
- b. Johns-Manville Sales Corporation, Manville Building Materials Corp.
- c. Owens-Corning Fiberglas Corp.
- d. Consolidated Fiber Glass Products, Inc. (Conglas)

7A.04 MATERIALS (BASIS: Manville 4 ply, 10 yr. NDL)

a. Asphalt Bitumen and glass Fiber Reinforced Roofing: Manufacturer's standard products for systems specified and conforming to the requirement of NRCA Roofing Manual.

1. System: NRCA Specification 35-NAGM; nailable deck, asphalt glass fiber reinforced membrane with mineral cap sheet surfacing. (comply with NRCA requirements for each material)

2. Base Sheet: Provide three ply roofing system, counting base sheet, plus additional cap sheet.

3. Provide rosin-sized sheathing paper where recommended by roofing manufacturer for type of decking on project.

4. Base and Composition Flashing System: Provide manufacturer's premium quality commercial quality base and composition wall flashing system. (comply with NRCA recommendations)

b. Mineral Cap Sheet: ASTM D3909, Manufacturer's standard mineral surfaced cap sheet for type of roof specified.

1. Color: Silver grey or equal with a minimum of 78 solar reflection index, JM GlasKap CR Cool Roof or approved equal.

c. Walkway planks: Dek-top as manufactured by Asphalt Products Oil Corp. (415-542-4887) cut to sizes indicated on drawings for walkway planks.

d. Mechanical Fasteners: As recommended by insulation manufacturer and meeting recommendations of NRCA.

7A.05 PREPARATION

a. Inspect roof deck to ensure deck is clean and smooth, free of depressions, waves or projections and is properly sloped to drains, valleys or eaves.

b. Ensure roof openings, curbs and pipes, sleeves, ducts or vents through the roof are solidly set, cant strips are in place and nailing strips located.

c. Deck surfaces shall be dry.

7A.06 INSTALLATION

a. Apply roofing membrane in accordance with roofing manufacturer's instructions and NRCA recommendations for roof type specified.

b. Apply felts smooth, free from air pockets, wrinkles, fishmouths, prominent lap-joints or tears.

c. Carry felts up cant strips to vertical surfaces and secure to nailing strips. d. Install 2-ply membrane and glaze coat for cut-off at "end-of-day" operation.

f. Coordinate metal flashings and counter flashing.

g. Coordinate installation of roof drains and related flashings.

h. Mop-in and seal flashings and flanges of items projecting through the membrane.

7A.07 GUARANTEE

The General Contractor and the Roofing Contractor shall submit a written statement guaranteeing all roof work for a period of ten (10) years from date of Acceptance. All roofing work to be certified by the manufacturer. Send two (2) copies of manufacturer's certificate to the Architect or Owner immediately upon completion of the work. Ten year, no dollar limit certificate required.

DIVISION 7A - SHEET METAL

7B.01 SCOPE OF THE WORK

Furnish and install all sheet metal work shown on the drawings, specified herein or wherever necessary for flashing purposes, to make a watertight job.

7B.02 MATERIALS

Galvanized iron: 26 gauge minimum
 Solder: halfpig lead and half-tin with muriatic acid flux.

7B.03 WORKMANSHIP

Allow for expansion and contraction. Flash and counter flash all junctions of all roofs with vertical surfaces. Provide expansion joints 40"-0" on center. Fasten all down spouts securely to wall with straps. All workmanship shall be first class and shall be properly constructed and complete whether specifically mentioned or not. Use slip-joint covers at joints in flashing per SMACNA standards.

DIVISION 8 - DOORS, WINDOWS AND GLASS

SECTION 8A - GLASS AND GLAZING

8A.01 SCOPE OF THE WORK

All glass is factory installed, under section 8D and 8E, except mirrors. Furnish and install glass wherever shown on the drawings. (per Flat Glass Marketing Association, Glazing Manual)

8A.02 MATERIALS

- Clear glass: New clear float glass, PPG or equal 3/4"
- Tempered glass: New PPG hercullite tempered safety glass
- Bronze glass: New PPG solarbrnze, min. 3/4" pol. Plate
- Plate glass: PPG or equal polished plate 3/4" thick
- Wire glass: 3/4" polished, square mesh run vertical (not diagonal).
- Mirrors: Type A - polished plate second silver quality (in each lavatory)
 Unless noted on toilet accessory schedule.
- Exterior Windows: Solarban 60 PPG Industries or approved equal.
- Skylights: to be O'Keefe or equal double insulated. Frosted at restraints.

8A.03 CLEANING

The General Contractor shall be responsible for thoroughly cleaning all glass on both sides and replacing all broken or cracked glass prior to acceptance of the building by the Owner.

8A.04 CODE

All work shall conform to the 2007 CBC regarding maximum size to thickness and tempering requirements.

SECTION 8B - FINISH HARDWARE

8B.01 SCOPE OF THE WORK

Contractor shall provide the Owner with complete Hardware Schedule for review and approval. Schedule shall include cross match-coding of locksets to door numbers on plans and three (3) copies shall be provided, allowing fifteen (15) working days for the Owner to review. Schedule shall show manufacturer's name and catalog number of each item. This schedule shall be considered the Preliminary Schedule. (all hardware shall be commercial quality and shall be installed in accordance with CAC Title 24)

Contractor's hardware vendor shall prepare a revised/corrected schedule - revised document based upon the Owner's review comments on Preliminary Schedule. The revised document shall be considered the Final Hardware Schedule and three (3) copies shall be forwarded to the Owner. This will enable the Owner to prepare a Keying Schedule which will be forwarded through channels to the hardware supplier for ordering hardware.

8B.02 DOOR LOCKSETS

Door locksets shall be Sargent 8100 series LWLW with USS10B finish. Keyways and Pining schedules shall be determined by the Owner to coordinate with the Master Keying Schedule. No substitution in lieu of Sargent locks will be considered.

8B.03 KEYING

a. All keyed locks shall be passed by a Grand Master Key. All lock cylinders are to be Grand Mastered, sub-building mastered and set keyed.

b. Keys: Stamp all keys "do not duplicate"

1. Furnish three keys per lock with an additional three keys for each set; three keys for each Sub-master, three keys for each Building Master and 50 stamped key blanks in the Job Keyway.

2. Upon receipt of the locksets and cylinders from the factory supplier shall notify the Owner that the key locks and cylinders are ready to be checked for the keying requirements set forth in the Keying Schedule. After the keyed locks and cylinders have been checked against the Keying Schedule and corrections make the Owner will accept the keys for the job and the keyed locks will be delivered to the job.

8A.04 PANIC HARDWARE

Panic hardware and door closers shall be installed per the requirements of the local Fire Marshal. All on wood doors requiring panic bars and/or closers, such hardware shall be installed with sex bolts.

8B.04 DOOR BUMPERS

Door bumpers shall be Sargent concave type or equal. All wall mounted bumpers shall have solid balking (2x4) installed behind each bumper.

8B.05 DRAWER SLIDES

Drawer slides to be Knappe Vogt 1280P

8B.06 BUTT HINGES

Butt hinges to be McKinney TA2724. 4 1/4" x 4 1/4" typical.

8B.07 CABINET HINGES

Cabinet hinges: 30 deg. Reverse bevel doors - National Lock Co. C325 Cabinet Hinges: Flush doors - McKinney 2743

SECTION 8C - HOLLOW METAL DOOR FRAMES AND WINDOWS

8C.01 SCOPE OF THE WORK

Provide all ferrous metal doors and frames, hollow metal work and related items complete as shown and specified. All doors and frames to be shop coat primed, except pre-finished aluminum anodized doors and frames and timely pre-finished door frame systems. All exterior doors and frames shall be galvanized.

8C.02 MATERIALS

Hollow metal doors and frames shall be in accordance with Steel Door Institute (SDI) standard specifications. Interior Doors shall be SDI Level 2 (heavy duty), Model 1 (full flush). Exterior doors shall be SDI Level 3 (extra heavy duty) Model 1.

Interior door frames shall be SDI Level 2 (16 gauge heavy duty) and exterior door frames shall be SDI Level 3 (14 gage, extra heavy duty). Fire-rated doors shall have UL Label with required rating.

SECTION 8E - METAL SASH

DIVISION 9A - PAINTING AND DECORATING

9A.01 SCOPE OF THE WORK

a. It is the intent of the specifications that the Contractor shall execute all painters finishes throughout the exterior and interior of the building. Paint all wood, plaster or sheetrock, unfinished metals, unless specifically noted otherwise. Spray texture all sheetrock for flatwall work.

b. Stipple all enamel. Provide smooth finish for areas with wallcoverings.

c. Accept tape work in writing to Owner, prior to start of painting.

d. Colors to be per Owner or as scheduled.

e. Workmanship to be first quality; smooth and uniform.

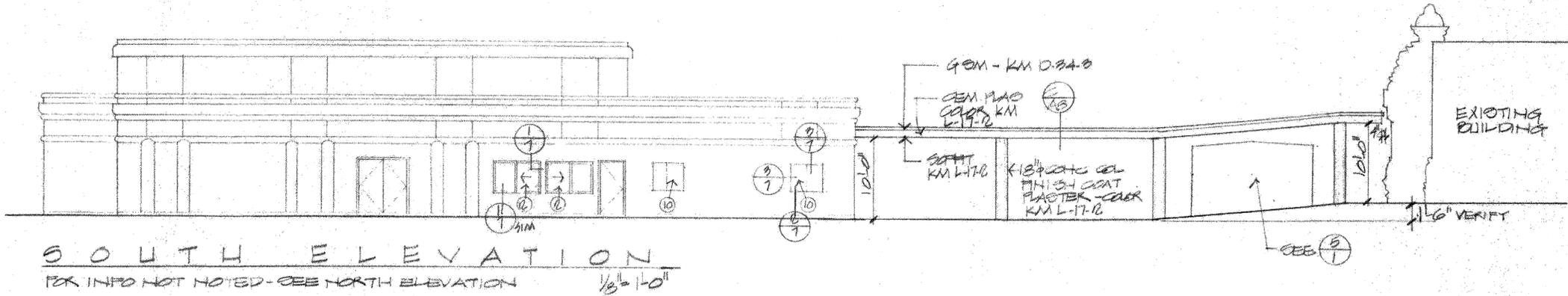
f. Protect the work of other trades.

g. Examine block for tightness and report defects to the Architect before starting.

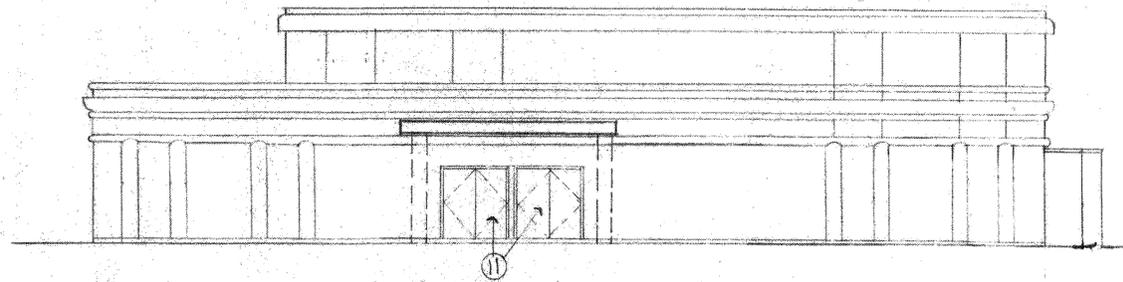
h. Interior trim - two (2) coats of enamel over primer. Gypsum board - two (2) coats of latex over primer.

i. All paints to be Fuller-O'Brien or approved equal.

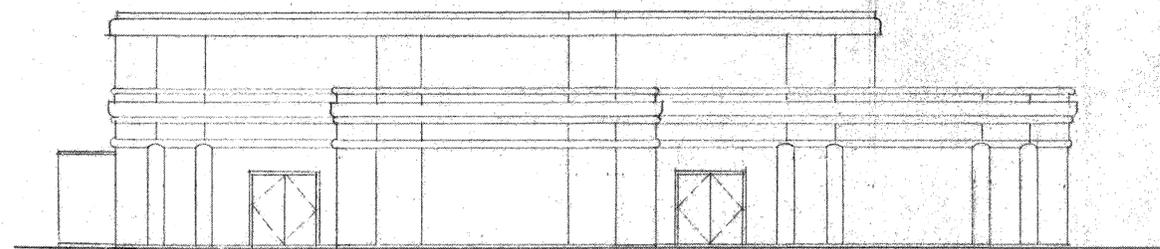
FOR REFERENCE ONLY



SOUTH ELEVATION
FOR INFO NOT NOTED - SEE NORTH ELEVATION
1/8" = 1'-0"



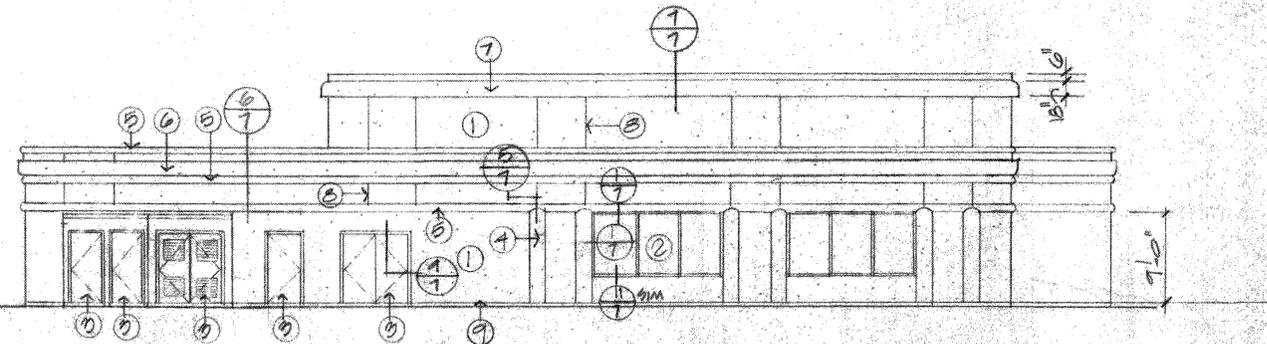
EAST ELEVATION
FOR INFO NOT NOTED - SEE NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
FOR INFO NOT NOTED - SEE NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LIST
FOR REFERENCE ONLY

1. 7/8" CEMENT PLASTER, FLOAT FINISH, OVER SELF FURRING LATH AND TWO(2) LAYERS OF GRADE "D" PAPER. INSTALL PER UBC SECTIONS 2056 & 2058. PAINT WITH TWO(2) COATS FLAT EXTERIOR LATEX PAINT. COLOR KELLY MOORE D-34-3 "RED EARTH".
2. ALUMINUM WINDOWS, FIXED AND SLIDING. DUEL GLAZED. U VALUE=2.1 MILGARD 1110 SERIES, OR EQUAL. HORIZONTAL SLIDING AND FIXED AS SHOWN. BRONZE FINISH.
3. HOLLOW METAL DOOR AND FRAME. PAINT TO MATCH PLASTER. SEMI-GLOSS ENAMEL.
4. HALF ROUND COLUMN 18" DIAMETER. BAY AREA FOAM, INC. OR EQUAL. FINISH PER MFG. SPECIFICATIONS. PAINT KELLY MOORE L 17-2 "LIVE OAK MOSS".
5. #42 FOAM SHAPE. BAY AREA FOAM, INC. OR EQUAL. SEE ITEM 4 FOR FINISH AND COLOR.
6. #1 [6"x12"] & #34A [6"x6"] FOAM SHAPES. BAY AREA FOAM, INC. OR EQUAL. SEE ITEM 4 FOR FINISH AND COLOR.
7. #1 [6"x12"] & #34A [6"x6"] FOAM SHAPES. BAY AREA FOAM, INC. OR EQUAL. SEE ITEM 4 FOR FINISH AND COLOR.
8. SUPERIOR #16 SCREED.
9. SUPERIOR #5 DRIP SCREED.
10. EXISTING WINDOWS TO REMAIN.
11. WOOD DOORS. "SIMPSON" #4080 1 3/4" x 3'-0" x 6'-8" VGDF. STAIN AS SELECTED WITH CLEAR VARATHAIN FINISH.



NORTH ELEVATION
FOR REFERENCE ONLY
1/8" = 1'-0"

REVISIONS	BY

g. michael goldsworthy
architect
4133 mohr avenue, suite h
pleasanton, california, 94566
[510] 462-0500 fax [510] 462-0502

HINDU COMMUNITY AND CULTURAL CENTER
1232 ARROWHEAD DRIVE
LIVERMORE, CA. 94550

DRAWN
CHECKED
DATE PERMIT 3/20/10
SCALE NOTED
JOB NO.
SHEET
A-3.1
OF SHEETS

REVISIONS	BY
05-24-10	HCCC
08-06-10	BPC
11-01-10	BPC

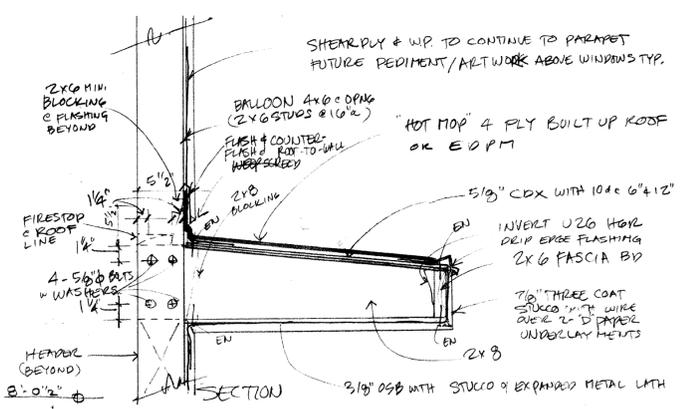
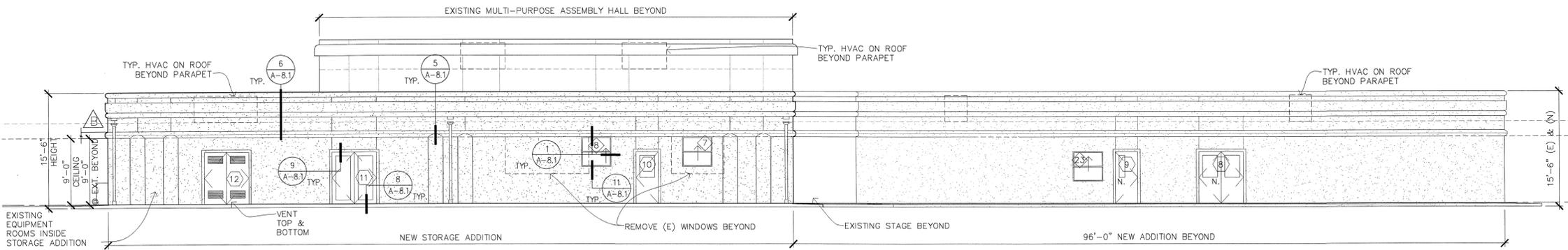
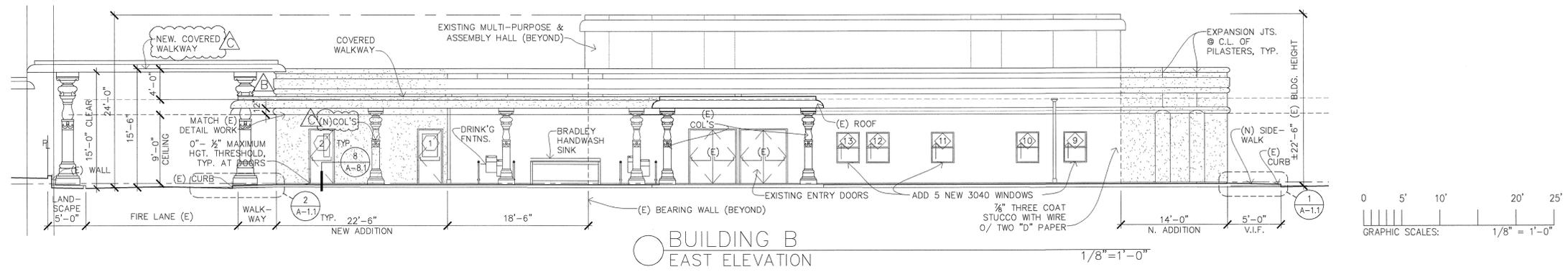


ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A
 ADDITIONS TO BUILDING "B"
 PROPOSED EXTERIOR ELEVATIONS

DATE: 03/12/10
 SCALE: 1/8"=1'-0"
 DRAWN BY: RL
 PROJECT: ARROWHEAD

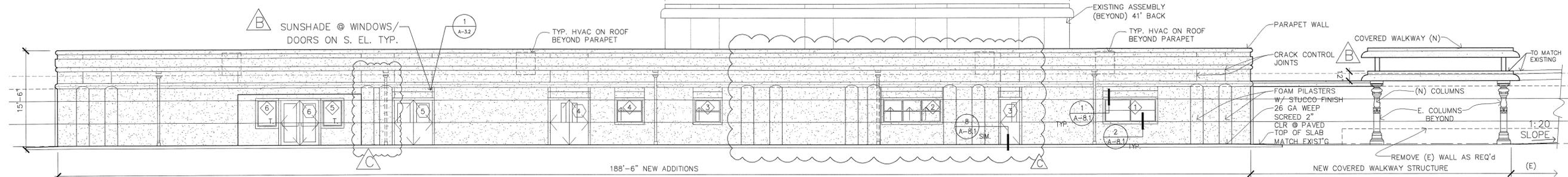
A-3.2



1 SUN SHADE DETAIL
 SCALE: N.T.S.
 NOTE: AWNING WILL BE PAINTED TO MATCH THE BUILDING.



BUILDING B WEST ELEVATION
 SCALE: 1/8"=1'-0"



BUILDING B SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

(100.0 CORRESPONDS W/ 520.0 ON CIVIL DRAWINGS)

NOTE: THE INTENT OF EXTERIOR FACADE OF NEW ADDITIONS IS TO MAINTAIN CHARACTER OF EXISTING BUILDING EXTERIOR FACADE

LEGEND	
	EXISTING BUILDING
	NEW ADDITIONS
	LINE AT (E) TO (N)
	NEW DOOR NUMBER
	NEW WINDOW NUMBER

REVISIONS	BY
A 05-24-10	HCCC
B 08-06-10	BPC

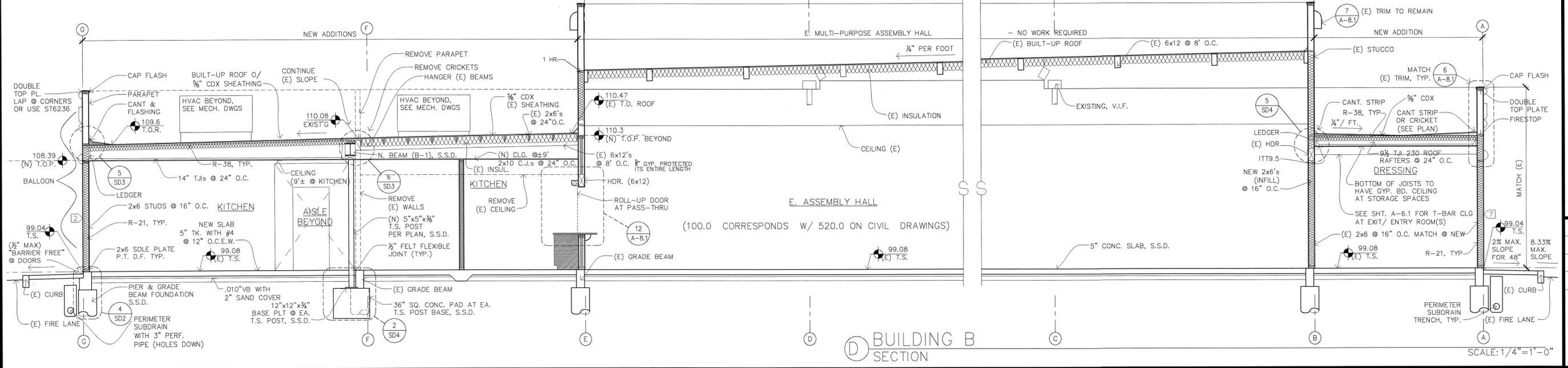
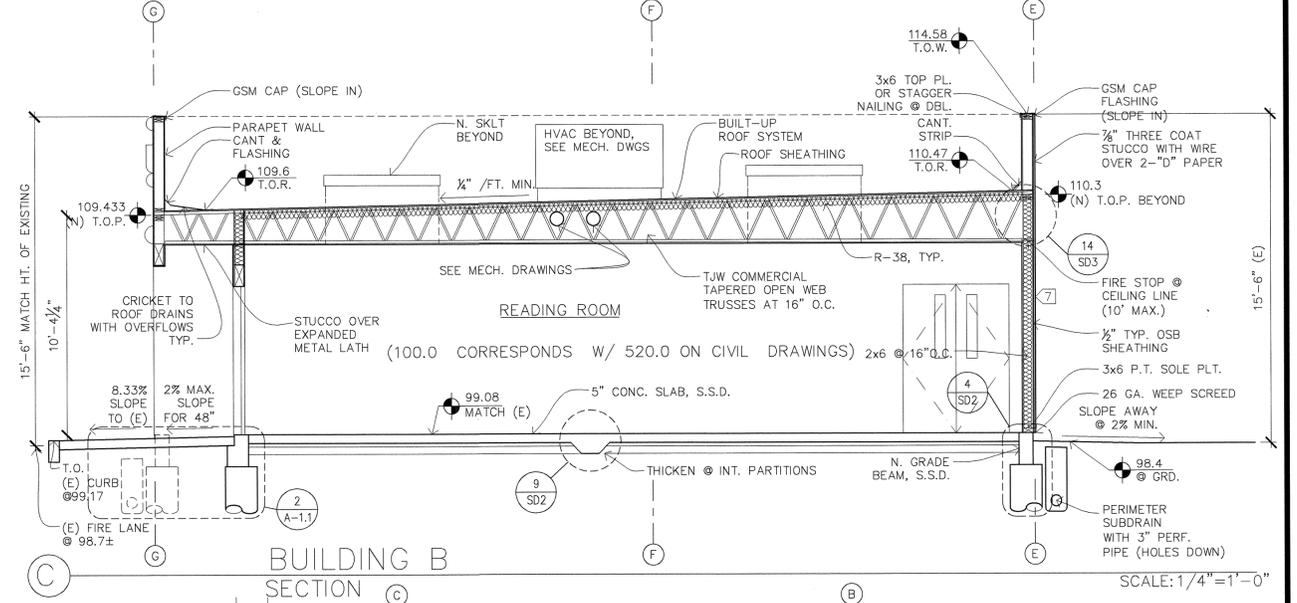
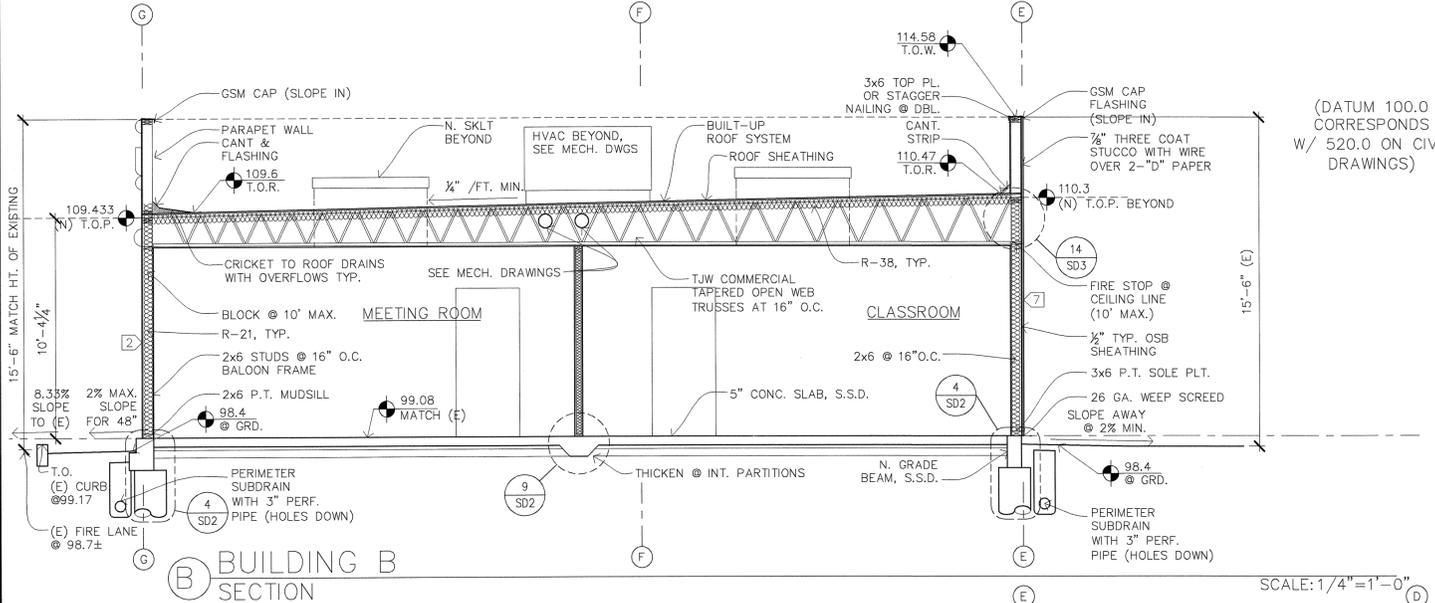
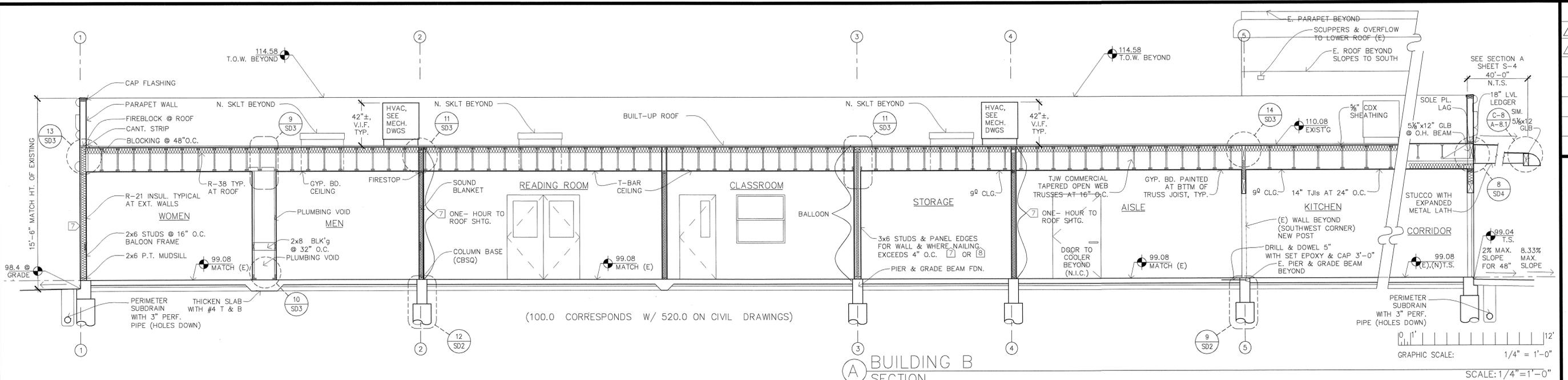


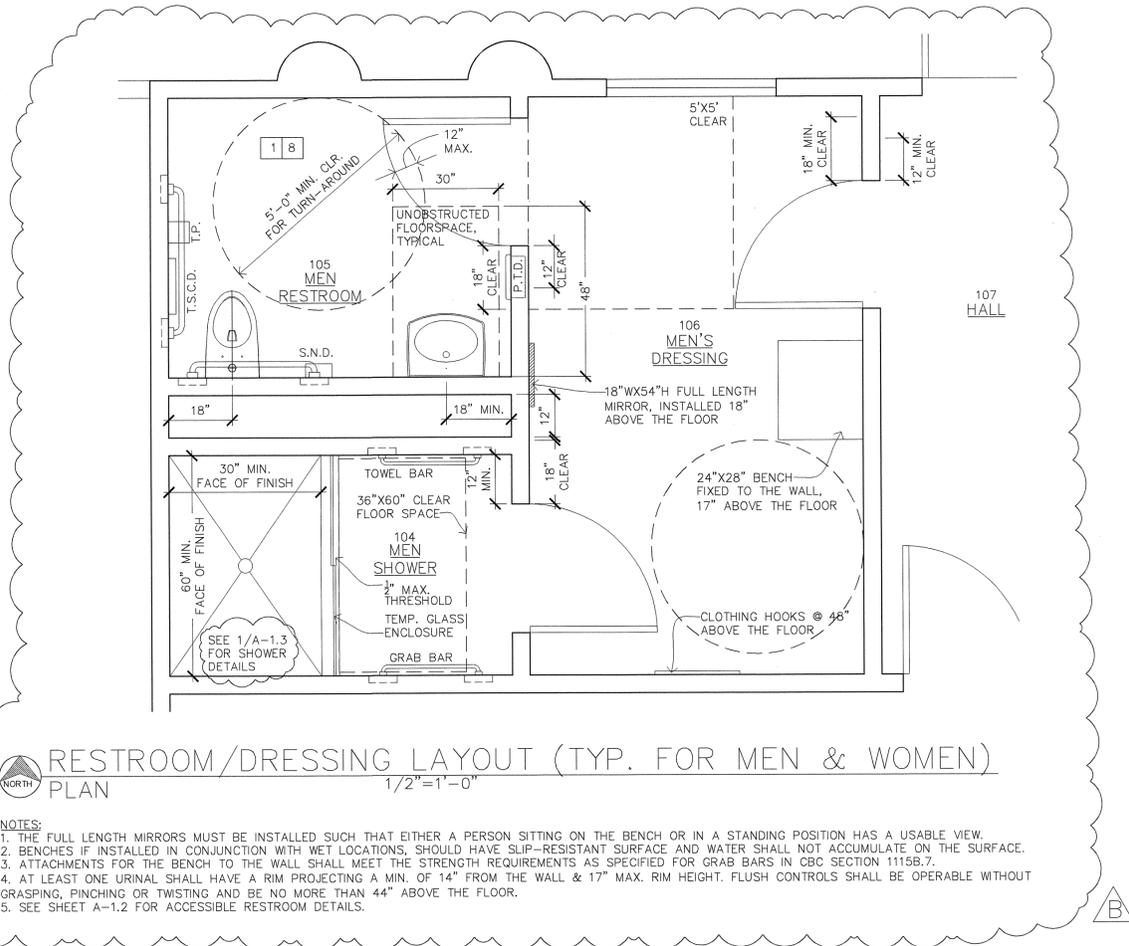
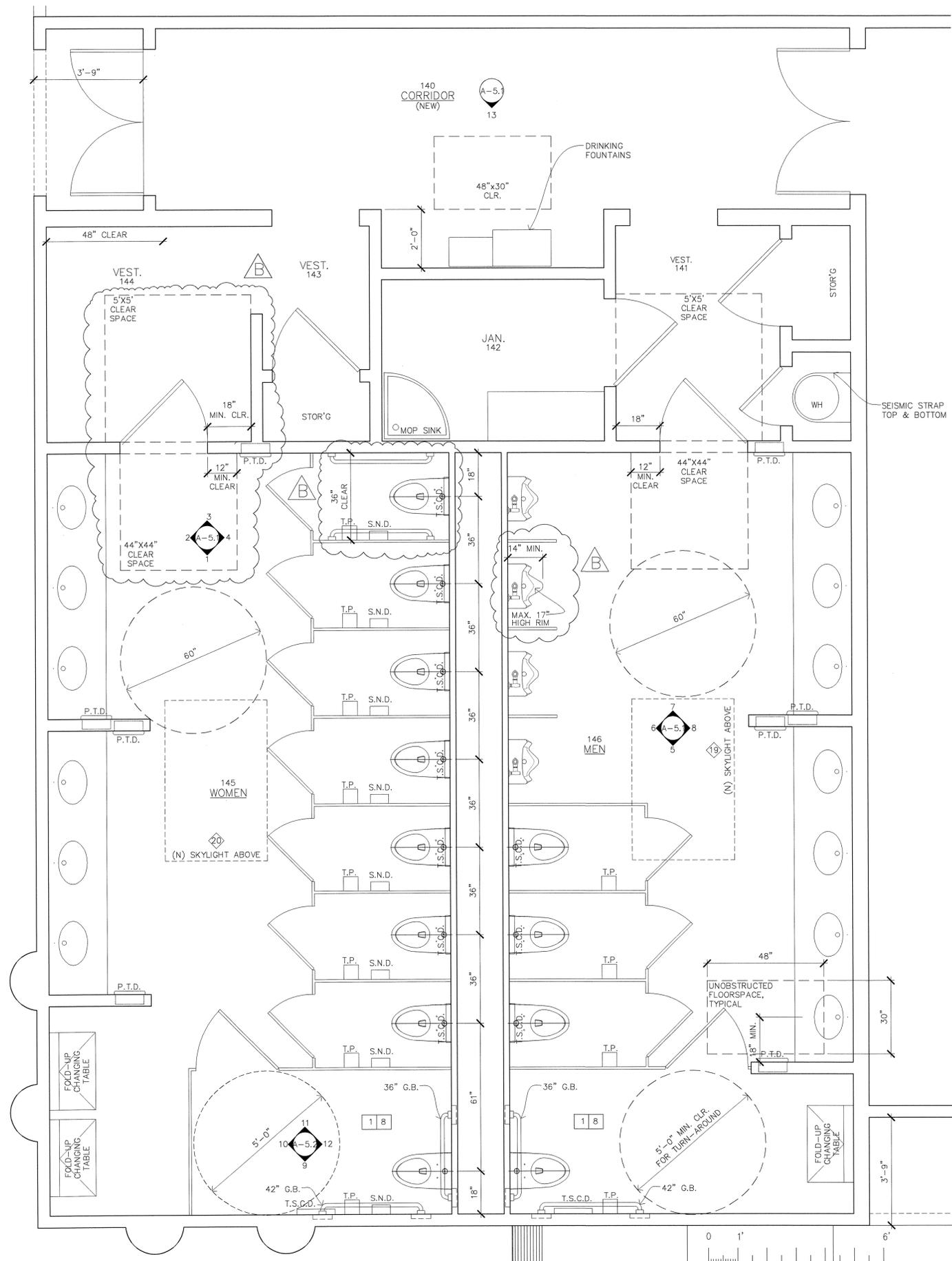
ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE., LIVERMORE, CA 94551

PHASE 1-A
 ADDITIONS TO BUILDING "B"
 BUILDING SECTIONS

DATE: 03/12/10
 SCALE: 1/4"=1'-0"
 DRAWN BY: RL
 PROJECT: ARROWHEAD

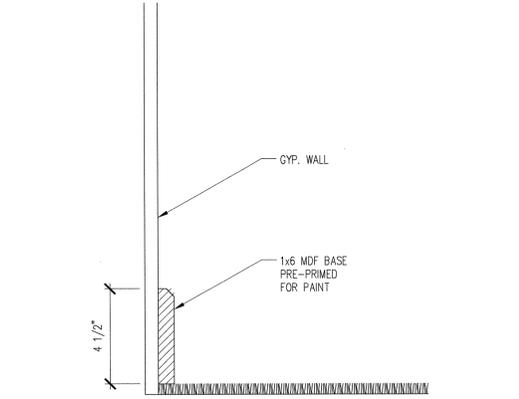
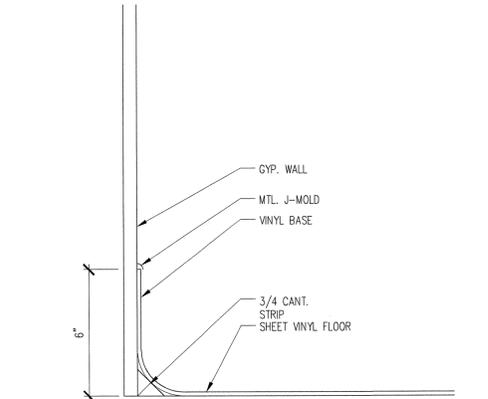
A-3.3





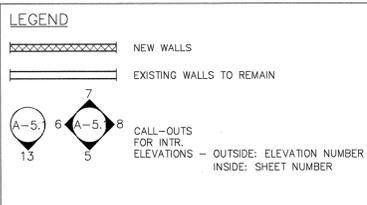
NOTES:

1. THE FULL LENGTH MIRRORS MUST BE INSTALLED SUCH THAT EITHER A PERSON SITTING ON THE BENCH OR IN A STANDING POSITION HAS A USABLE VIEW.
2. BENCHES IF INSTALLED IN CONJUNCTION WITH WET LOCATIONS, SHOULD HAVE SLIP-RESISTANT SURFACE AND WATER SHALL NOT ACCUMULATE ON THE SURFACE.
3. ATTACHMENTS FOR THE BENCH TO THE WALL SHALL MEET THE STRENGTH REQUIREMENTS AS SPECIFIED FOR GRAB BARS IN CBC SECTION 1115B.7.
4. AT LEAST ONE URINAL SHALL HAVE A RIM PROJECTING A MIN. OF 14" FROM THE WALL & 17" MAX. RIM HEIGHT. FLUSH CONTROLS SHALL BE OPERABLE WITHOUT GRASPING, FINCHING OR TWISTING AND BE NO MORE THAN 44" ABOVE THE FLOOR.
5. SEE SHEET A-1.2 FOR ACCESSIBLE RESTROOM DETAILS.



BATHROOM NOTES:

1. Shower and tub/shower walls to specify a smooth, hard, nonabsorbent surface (e.g. ceramic tile) over a moisture resistant underlayment (e.g. wr. gyp) to a height of 70" above the drain inlet. (CBC 1210.3) typical.
2. Showers shall be provided with individual control valves of the pressure balance or the thermostatic mixing valve type. (CBC 418.0)
3. Tempered glass shower enclosures, typ.
4. Water closets shall have a maximum 1.6 gallon flush typical. Shower heads shall have a maximum flow rate of 2.5 g.p.m. & lavatory and sink faucets shall have a maximum flow rate of 2.2 g.p.m. per California Energy Commission, typical all restrooms.
5. Consult owner for heights of all shower heads.
6. All plumbing shall be separated from structure with plumbing piping insulation.



RESTROOM PLANS



REVISIONS	BY
A 05-24-10	HCCC
B 08-06-10	BPC



ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A
 BUILDING "B"
 RESTROOM PLANS

DATE: 03/12/10
 SCALE: 1/2"=1'-0"
 DRAWN BY: RL
 PROJECT: ARROWHEAD

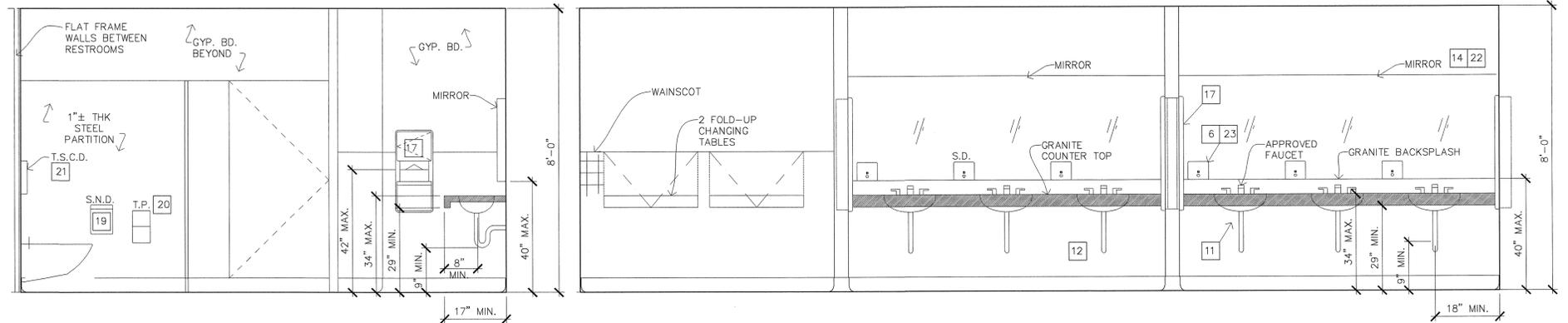
A-4.1

NOTES:

1. TOILET ROOMS SHALL BE ACCESSIBLE PER CBC.
2. GRAB BAR SHALL BE 1 1/2" TO 1 3/4" DIA. INSTALLED PER ADA GUIDELINES. BRUSHED STAINLESS STEEL FINISH.
3. FORCE REQUIRED TO ACTIVATE WATER CLOSET CONTROLS NOT TO EXCEED 5 LBS.
4. HANDICAP TOILET W/ PRESSURE ASSIST AS REQUIRED BY CODE.
5. TOTO, DRAKE ADA #CST744SL TOILET.
6. ALL DISPENSERS & DISPOSAL FIXTURES SHALL BE MOUNTED SO AS NOT TO EXCEED 40" A.F.F. TO ANY OPERATING CONTROLS, RECEPTACLE OR DISPENSER.
7. MOUNT ALL EQUIPMENT PER ADA REQUIREMENTS.
8. CONTRACTOR TO PROVIDE ADEQUATE BLOCKING FOR ALL TOILET ROOM FIXTURES AND FITTINGS.
9. FAUCET CONTROLS & OPERATING MECHANISMS TO BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING.
10. LAVS/ HANDSINKS SHALL HAVE A COMBINATION FAUCET OR PRE-MIXING FAUCET CAPABLE OF SUPPLYING WARM WATER FOR A MINIMUM OF TEN SECONDS.
11. INSULATE DRAIN PIPE & HOT WATER @ LAVS PER ADA GUIDELINES.
12. THE TOTAL DEPTH OF THE CLEAR SPACE BENEATH THE LAV SHALL BE AS SHOWN ON DETAIL 1.
13. PROVIDE 4" CLEARANCE AT FLOOR DRAIN.
14. MIRROR TO BE MOUNTED W/ BOTTOM OF REFLECTING SURFACE @ 40" A.F.F.
15. TOILET ROOM DOOR SHALL BE SELF-CLOSING & TIGHT FITTING W/ 1/2" AIR GAP.
16. HOT WATER HEATER SHALL BE CAPABLE OF SUPPLYING HOT WATER AT A TEMPERATURE OF 120 DEGREES TO ALL SINKS, LAVS, & OTHER CLEAN-UP FACILITIES.
17. BOBRICK: #B-4369 CONTOURA PAPER TOWEL & WASTE RECEPTACLE.
18. KOHLER WALL-MOUNTED LAVATORY K2035-4 (PINOIR) WHITE. FAUCET: MOEN #4560/97557 4" CENTERS BRIGHT CHROME.
19. BOBRICK: #B-270 SANITARY NAPKIN DISPOSAL.
20. BOBRICK: #B-4288 TOILET TISSUE DISPENSER.
21. BOBRICK: #B-4221 TOILET SEAT COVER DISPENSER.
22. 1/4" MIRROR POLISHED EDGE OF MIRROR.
23. BOBRICK: #B-4112 CONTOURA SURFACE MOUNTED SOAP DISPENSER.
24. BOBRICK: #B-4262 PAPER TOWEL DISPENSER.

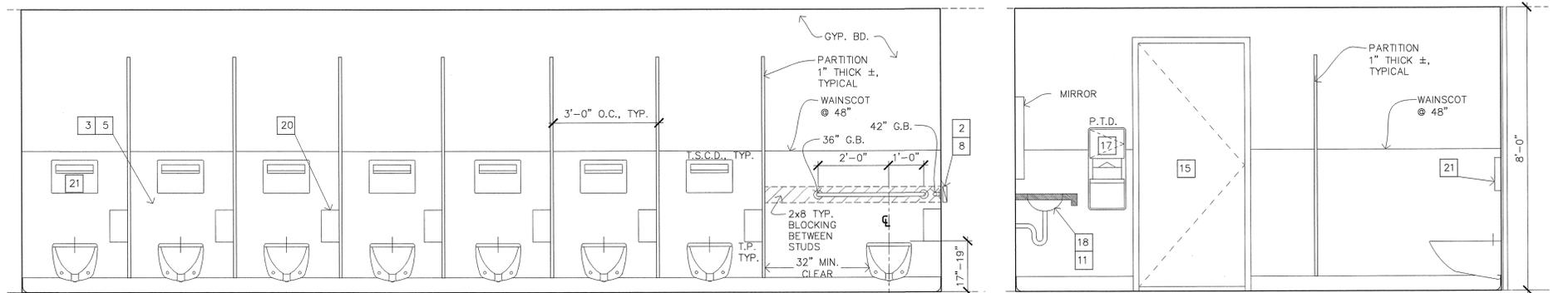
GENERAL NOTES:

1. PROVIDE SIGN FOR VISUALLY IMPAIRED (MAX 40" ABOVE FLOOR)
2. TOILET ROOM FLOOR SHALL HAVE A SMOOTH, HARD NONABSORBANT SURFACE WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 6".
3. PROVIDE LIGHT SWITCH OPERATED FAN FOR 15 MIN. AIR CHANGE.
4. PROVIDE WALL BACKING SUFFICIENT TO WITHSTAND A 250# POINT LOAD TO GRAB BAR.



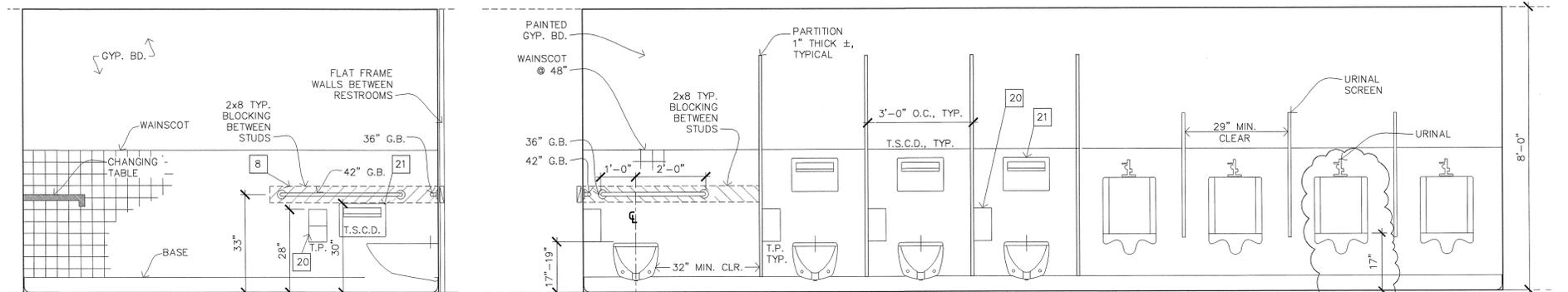
1 WOMENS RESTROOM ELEVATION SCALE: 1/2"=1'-0"

2 WOMENS RESTROOM ELEVATION SCALE: 1/2"=1'-0"



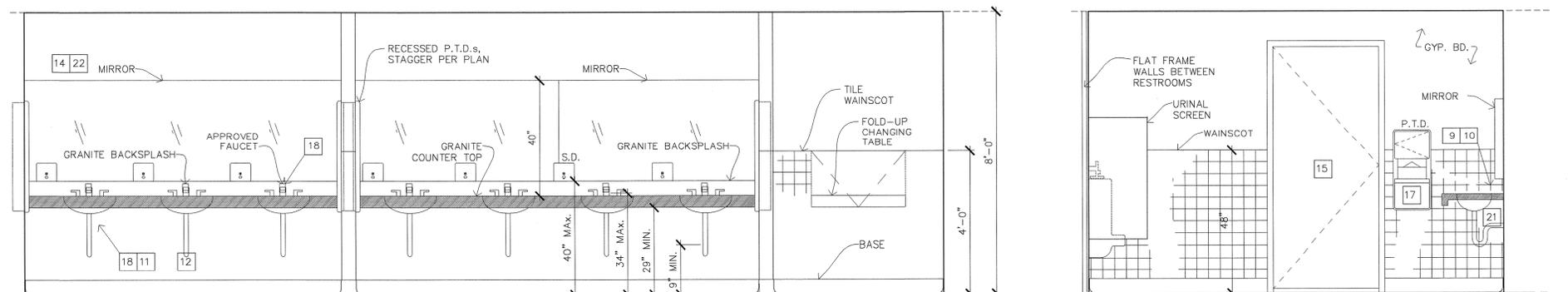
4 WOMENS RESTROOM ELEVATION SCALE: 1/2"=1'-0"

3 WOMENS RESTROOM ELEVATION SCALE: 1/2"=1'-0"



5 MENS ROOM ELEVATION SCALE: 1/2"=1'-0"

6 MENS ROOM ELEVATION SCALE: 1/2"=1'-0"



8 MENS ROOM ELEVATION SCALE: 1/2"=1'-0"

7 MENS ROOM ELEVATION SCALE: 1/2"=1'-0"



REVISIONS	BY
05-24-10	HCCC
08-06-10	BPC

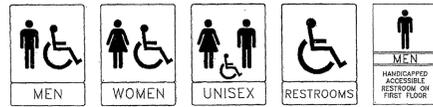


ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

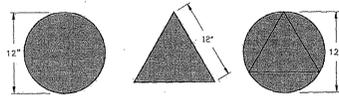
PHASE 1-A BUILDING "B"
 INTERIOR ELEVATIONS
 NEW RESTROOMS

DATE: 03/12/10
 SCALE: 1/2"=1'-0"
 DRAWN BY: RL
 PROJECT: ARROWHEAD

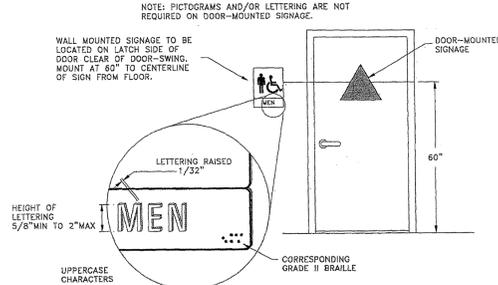
A-5.1



WALL-SIGNAGE (TYP.)



DOOR MOUNTED SIGNAGE (TYP.)



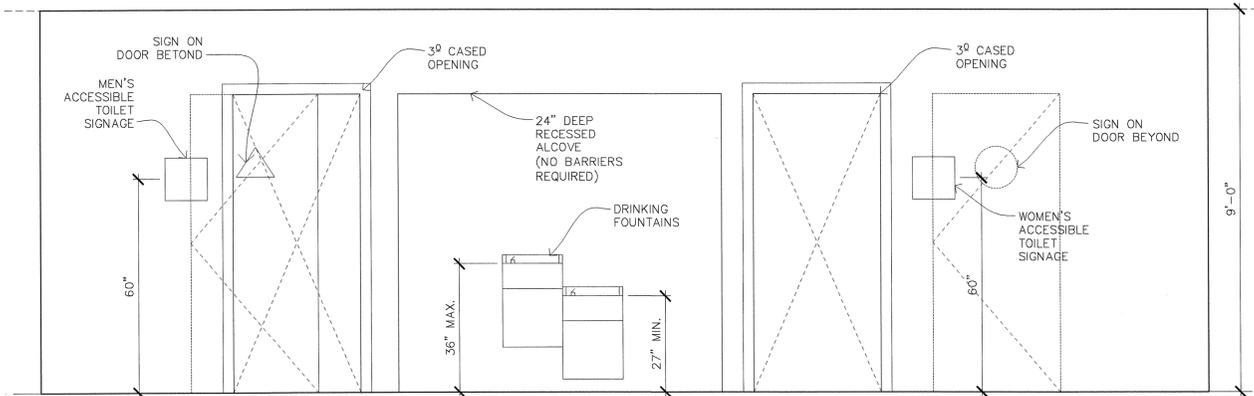
8 IDENTIFICATION SYMBOLS FOR SANITARY FACILITIES NTS

GENERAL NOTES:

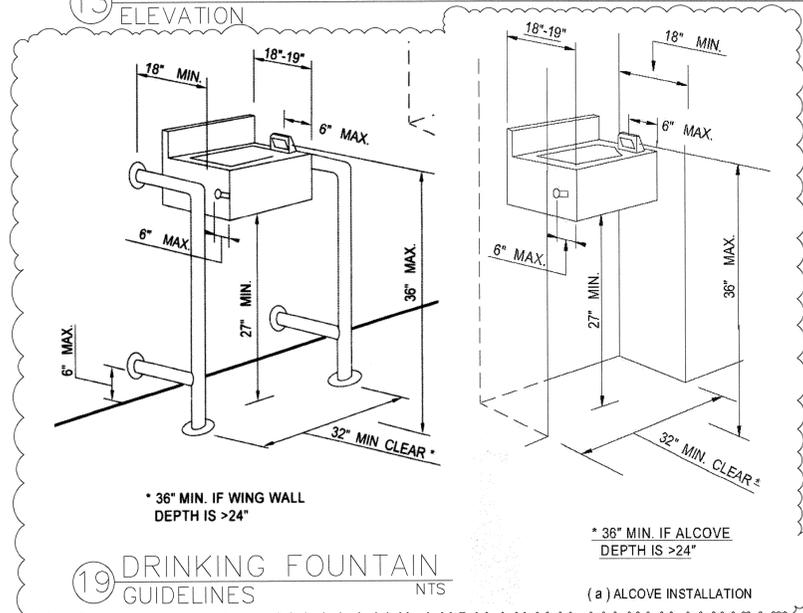
1. PROVIDE SIGN FOR VISUALLY IMPAIRED (MAX 40" ABOVE FLOOR)
2. TOILET ROOM FLOOR SHALL HAVE A SMOOTH, HARD NONABSORBANT SURFACE WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 6".
3. PROVIDE LIGHT SWITCH OPERATED FAN FOR 15 MIN. AIR CHANGE.
4. PROVIDE WALL BACKING SUFFICIENT TO WITHSTAND A 250# POINT LOAD TO GRAB BAR.

NOTES:

1. TOILET ROOMS SHALL BE ACCESSIBLE PER CBC.
2. GRAB BAR SHALL BE 1 1/4" TO 1 1/2" DIA. INSTALLED PER ADA GUIDELINES. BRUSHED STAINLESS STEEL FINISH.
3. FORCE REQUIRED TO ACTIVATE WATER CLOSET CONTROLS NOT TO EXCEED 5 LBS.
4. HANDICAP TOILET W/ PRESSURE ASSIST AS REQUIRED BY CODE.
5. SEE PLUMBING SPECIFICATIONS FOR FIXTURES.
6. ALL DISPENSERS & DISPOSAL FIXTURES SHALL BE MOUNTED SO AS NOT TO EXCEED 40" A.F.F. TO ANY OPERATING CONTROLS, RECEPTACLE OR DISPENSER.
7. MOUNT ALL EQUIPMENT PER ADA REQUIREMENTS.
8. CONTRACTOR TO PROVIDE ADEQUATE BLOCKING FOR ALL TOILET ROOM FIXTURES AND FITTINGS.
9. FAUCET CONTROLS & OPERATING MECHANISMS TO BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING.
10. LAVS/ HANDSINKS SHALL HAVE A COMBINATION FAUCET OR PRE-MIXING FAUCET CAPABLE OF SUPPLYING WARM WATER FOR A MINIMUM OF TEN SECONDS.
11. INSULATE DRAIN PIPE & HOT WATER @ LAVS PER ADA GUIDELINES.
12. THE TOTAL DEPTH OF THE CLEAR SPACE BENEATH THE LAV SHALL NOT BE LESS THAN 1'-5" OF WHICH TO CLEARANCE SHALL NOT BE MORE THAN 6" OF THE TOTAL DEPTH. KNEE CLEARANCE SHALL NOT BE LESS THAN 2'-5" IN HEIGHT & 2'-6" IN WIDTH.
13. PROVIDE 4" CLEARANCE AT FLOOR DRAIN.
14. MIRROR TO BE MOUNTED W/ BOTTOM OF REFLECTING SURFACE @ 40" A.F.F.
15. TOILET ROOM DOOR SHALL BE SELF-CLOSING & TIGHT FITTING W/ 1 1/2" AIR GAP.
16. HOT WATER HEATER SHALL BE CAPABLE OF SUPPLYING HOT WATER AT A TEMPERATURE OF 120 DEGREES TO ALL SINKS, LAVS, & OTHER CLEAN-UP FACILITIES.
17. BOBRICK: #B-4369 CONTOURA PAPER TOWEL & WASTE RECEPTACLE.
18. KOHLER WALL-MOUNTED LAVATORY K2035-4 (PINOIR) WHITE. FAUCET: MOEN #4560/97557 4" CENTERS BRIGHT CHROME.
19. BOBRICK: #B-270 SANITARY NAPKIN DISPOSAL.
20. BOBRICK: #B-4288 TOILET TISSUE DISPENSER.
21. BOBRICK: #B-4221 TOILET SEAT COVER DISPENSER.
22. 1/4" MIRROR POLISHED EDGE OF MIRROR.
23. BOBRICK: #B-4112 CONTOURA SURFACE MOUNTED SOAP DISPENSER.
24. BOBRICK: #B-4262 PAPER TOWEL DISPENSER.

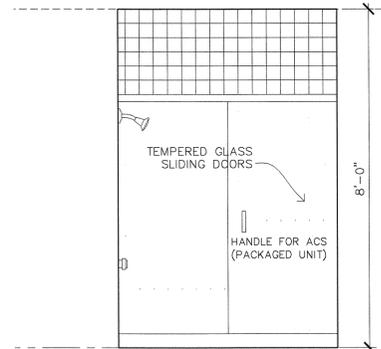


13 CORRIDOR ELEVATION 1/2"=1'-0"

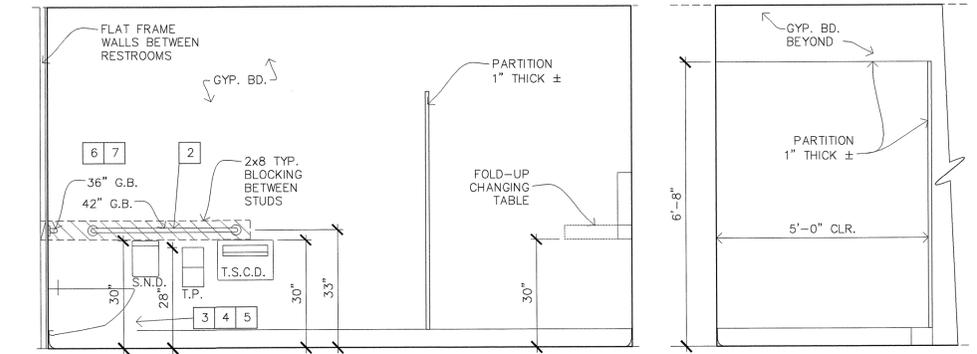


19 DRINKING FOUNTAIN GUIDELINES NTS

(a) ALCOVE INSTALLATION

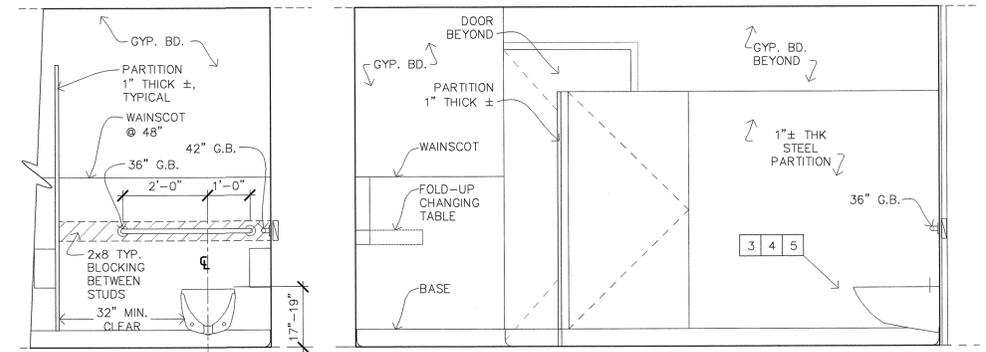


18 SHOWER ROOM 104 & 110 ELEVATION 1/2"=1'-0"



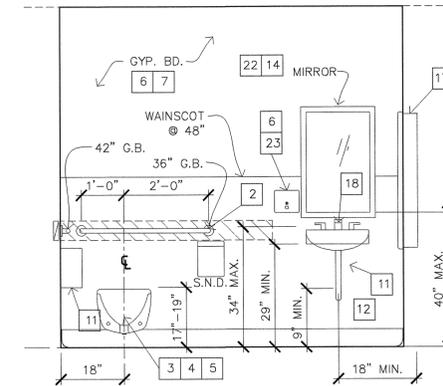
9 ACCESSIBLE STALL WOMENS ROOM SCALE: 1/2"=1'-0"

10 ACCESSIBLE STALL 1/2"=1'-0"

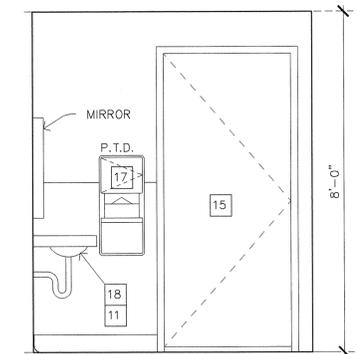


12 ACCESSIBLE STALL 1/2"=1'-0"

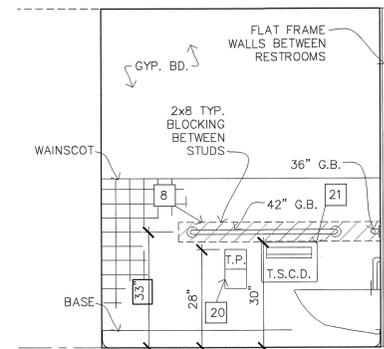
11 ACCESSIBLE STALL WOMENS ROOM SCALE: 1/2"=1'-0"



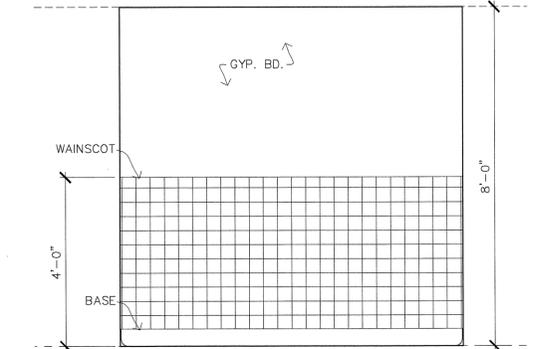
14 RESTROOM ELEVATION SCALE: 1/2"=1'-0"



15 RESTROOM ELEVATION 1/2"=1'-0"



17 RESTROOM 105 & 109 ELEVATION 1/2"=1'-0"



16 RESTROOM ELEVATION SCALE: 1/2"=1'-0"

REVISIONS	BY
A 05-24-10	HCCC
B 08-06-10	BPC



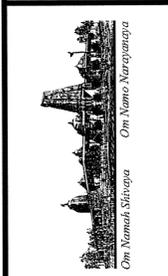
ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A BUILDING "B"
INTERIOR ELEVATIONS
NEW RESTROOMS

DATE	03/12/10
SCALE:	1/2"=1'-0"
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-5.2

REVISIONS	BY
△ 05-24-10	HCCC
△ 08-06-10	BPC



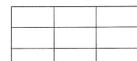
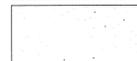
ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
 1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A
 BUILDING "B"
 REFLECTED CEILING PLAN

DATE
 03/12/10
 SCALE:
 DRAWN BY:
 RL
 PROJECT:
 ARROWHEAD

A-6.1

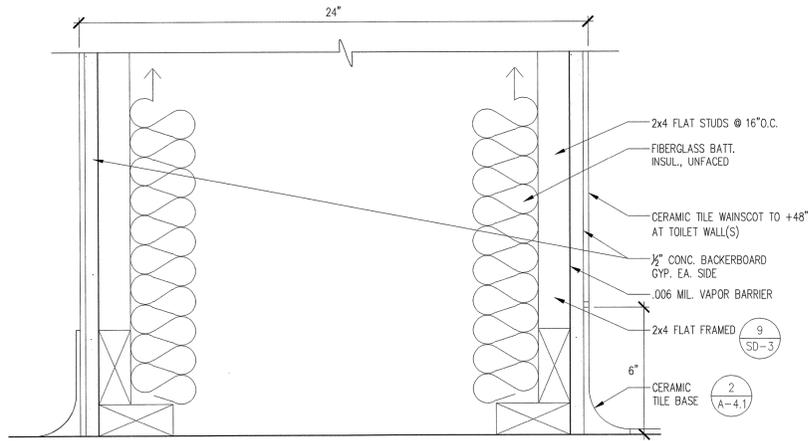
LEGEND:

-  5/8" GYP. BOARD CEILING
-  2'X4' T-BAR CEILING
-  STUCCO
-  EXISTING CEILING

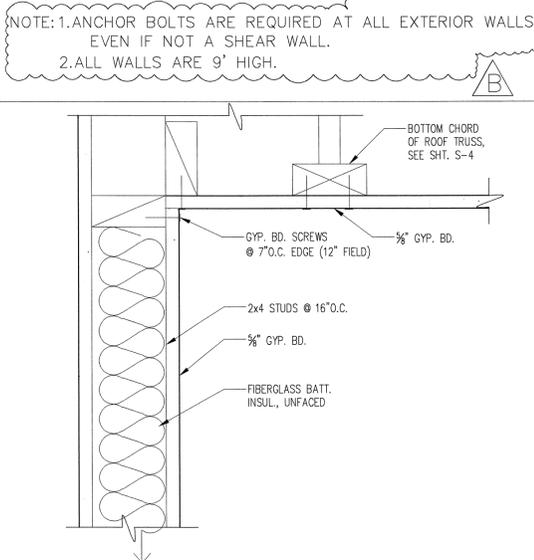


BUILDING B
 REFLECTED CEILING PLAN

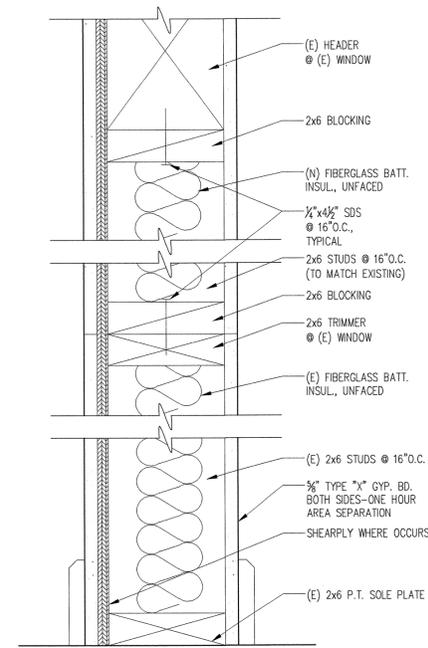
SCALE: 1/8" = 1'-0"



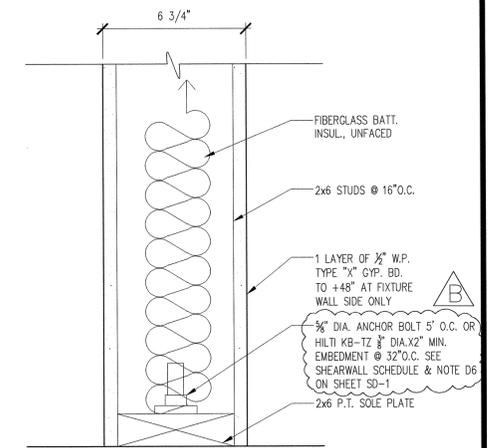
9 PLUMBING WALL DETAIL SCALE: 3"=1'-0"



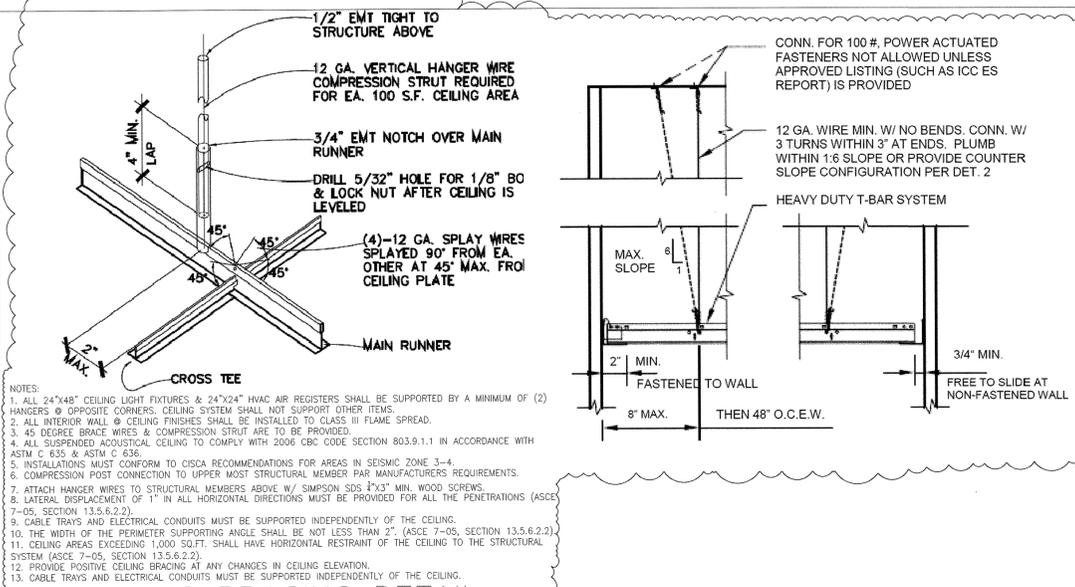
10 CEILING DETAIL SCALE: 3"=1'-0"



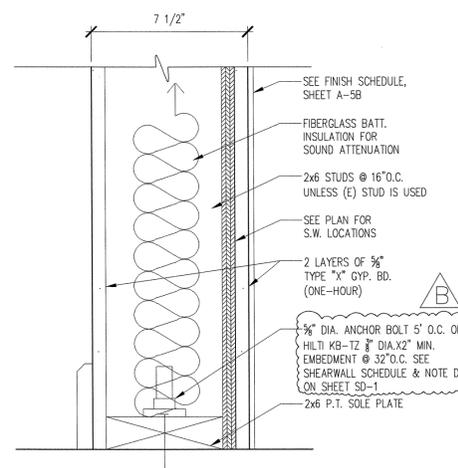
4 EXISTING WINDOW INFILL DETAIL SCALE: 3"=1'-0"



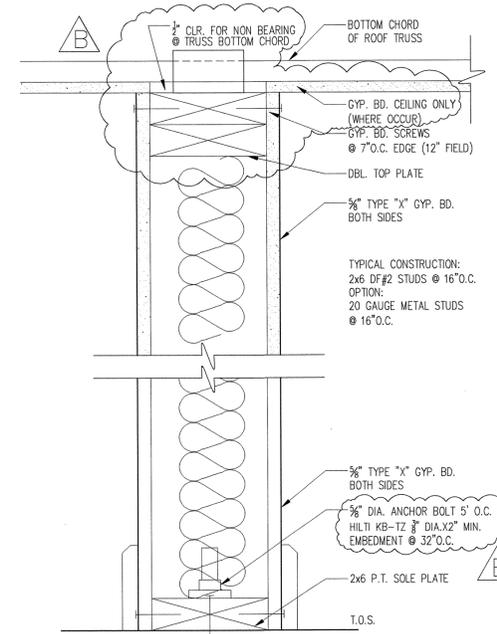
2 TYP. PLUMBING WALL DETAIL SCALE: 3"=1'-0"



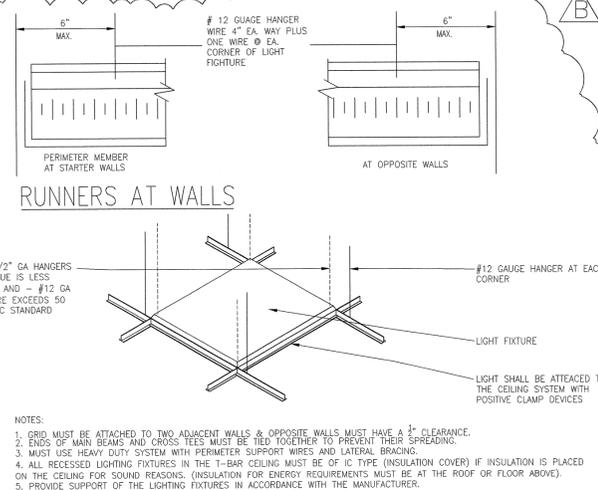
11 CEILING BRACING DETAIL SCALE: NTS



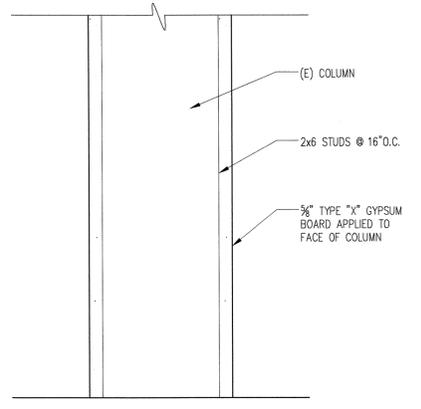
7 NEW SHEER WALL DETAIL SCALE: 3"=1'-0"



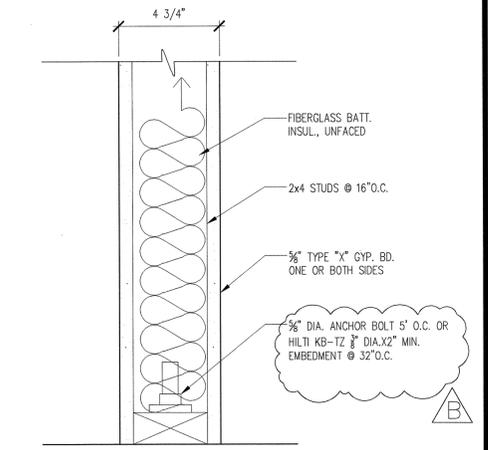
5 NEW INTERIOR WALL DETAIL SCALE: 3"=1'-0"



12 TYP. LIGHT FIXTURE MOUNTING DETAIL AT WALL SCALE: NTS



8 SINGLE LAYER GWB AT COLUMN SCALE: 3"=1'-0"



3 NEW PARTITION WALL DETAIL SCALE: 3"=1'-0"

REVISIONS	BY
A 05-24-10	HCCC
B 08-06-10	BPC



ADDITION TO EXISTING BUILDING "B"
HINDU COMMUNITY and CULTURAL CENTER
1232 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-A
BUILDING "B"
INTERIOR DETAILS

DATE	03/12/10
SCALE	AS NOTED
DRAWN BY	EL
PROJECT	ARROWHEAD

A-9.1