

APPLICABLE CODES AND EDITIONS: A

ALL WORK SHALL COMPLY WITH THE 2006 INTERNATIONAL BUILDING CODE, 2007 CALIFORNIA BUILDING CODE, 2008 CALIFORNIA ENERGY CODE, 2007 CALIFORNIA PLUMBING CODE, 2007 CALIFORNIA MECHANICAL CODE, 2007 CALIFORNIA ELECTRICAL CODE, 2007 CALIFORNIA ADMINISTRATIVE CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.

Scope of Work and General Notes

- The project's base bid involves site development & construction of building "C", and site development of Building "B" (adjacent lot north of Building C lot) as indicated on architectural, civil, plumbing, mechanical, electrical, landscape drawings, including the trash enclosure building, compost structure, connecting walkway structure in north lot as shown on drawings. Also includes curb & gutter improvements, driveways & asphalt paving (as shown on A-1.1) to overflow parking lot in East.
- Contractor and sub-contractors shall visit the site prior to bidding and shall verify all job site conditions and dimensions and report to the engineer-of-record of any discrepancies.
- Contractor to provide emergency telephone on the job site.
- The facilities will remain open during construction. It is the contractor's responsibility to coordinate with the staff of the temple on a daily basis to assure the continuity of operations and to minimize disruption of the temple activities.
- Fire Department truck access shall be properly maintained and in service prior to, during and after construction.
- Contractor and sub-contractors shall include in their bid daily site clean-up as part of their work for modifications to the existing, as well as for new construction areas. The contractors and sub-contractors shall exercise strict control over job cleaning in order to prevent any dirt, debris or dust from affecting, in anyway the finished or existing areas in or outside the jobsite, the local codes and neighbors' concerns shall apply.
- Noise construction activities which occur outdoors shall take place on weekdays between hours 7:30a.m. to 5 p.m. and noisy construction equipment shall be operated between hours 9 a.m. to 4 p.m. Local requirements or neighbors' requests may change these operations. In all cases city ordinance shall be followed.
- These construction bid documents are for general purposes only. They are not exhaustively detailed or fully specified. It is the responsibility of the contractor to verify and resolve any questions with the engineer of record. It is also the responsibility of the contractor to install all materials and equipment. The contractor is solely responsible for quality control and construction standards for this project. The drawings will indicate the existing items, the items that are to be demolished, the items that are to be refurbished and the items that are to remain. In all cases city ordinance shall be strictly adhered to.
- Contractor(s) shall be held responsible for the results of any errors, discrepancies, or omissions in the contract documents.
- The owner (Hindu Cultural Community Center) will not be responsible for any unauthorized changes to or uses of the plans and specifications. All changes must be in writing and must be issued by the engineer-of-record who is the owner's representative.
- Any discrepancies shall be brought to the attention of engineer-of-record immediately prior to construction and resolved.
- Written dimensions take precedence. Do not scale drawings.
- All dimensions to and from are to the face of stud, unless noted otherwise.
- Where discrepancies between the soil report and project drawings occur, contact the engineer-of-record.
- Pad grade under buildings shall have positive slopes. Slopes shall be jute matted prior to landscaping to prevent soil erosion.
- The following items shall be provided to the Building Inspector after verification by the registered professional engineer in the form of a stamped and signed professional report and submitted at the time of inspection.
 - A surveyor must verify building setbacks to property lines and also pad elevation(s) before the time of the foundation inspection.
 - When fill is employed under the buildings, a soils engineer must verify the pad compaction before the foundation inspection.
 - A surveyor must verify finish floor elevations before shear walls and roof inspection.
 - A surveyor must verify the highest elevation of the highest point of the roof before the frame inspection.
 - For other inspection requirements see civil, structural, mechanical, plumbing, electrical and landscape drawings.
- See civil drawings for existing and proposed grading, utilities, additional structures, proposed drainage and erosion control measures.
- See landscape drawings for landscape features.
- In the event of conflicts between pertinent codes and specifications and the drawings, the most stringent requirements shall apply.
- Water and/or dust palliatives shall be applied during construction.
- Contractor shall reimburse Hindu Cultural Community Center (HCCC) for all utility bills used for construction.
- All dimensions noted "verify" are to be checked by the contractor prior to construction and report any variances to the engineer-of-record.
- The General Contractor or his representative shall be at site at all times during construction. The General Contractor or his representative is solely responsible for: (a) coordination of drawings with all trades and professionals and (b) continuous safety for all people and property at all times.
- The Contractor shall defend, indemnify and hold the owner and the design professionals harmless from and any all liability, real or alleged, in connection with the project, including but not limited to attorney fees and costs. The Owner & design professionals shall be named as additional insureds on the contractor's liability insurance.
- The Contractor shall carry a surety bond, the bond amount shall not be less than the total contract amount.
- Contractor to furnish the owner with all warranties and warranty information.
- Contractor shall prepare a construction schedule and shall submit it to the Owner. "Owner" is Hindu Community and Cultural Center, Livermore.
- The Owner and the Contractor will enter into a contract which will specify various terms including a payment schedule along with a finishing schedule. Ten percent of each payment will be retained until the project is completed and will be paid to the Contractor after the Occupancy Permit from City and approval by the Owner.
- The Contractor at all times shall keep an approved stamped wet-signed set of the construction documents on site for reference.
- Always use the latest set of construction documents.
- For additional notes, see sheet A-2B, A-1.3 & for technical specifications A-6B.

PROJECT DATA & CODE ANALYSIS:

ASSESSORS PARCEL # 099B-5125-005-06
 CONDITIONAL USE PERMIT 09-001 B
 ADDRESS 1200 ARROWHEAD AVENUE A
 SITE AREA 3,32,662 SF A
 OCCUPANCY CLASSIFICATION PHASE 1-B BUILDING 'C' OCCUPANCY B A

CONSTRUCTION TYPE TYPE VB - (WITH SPRINKLERS) A
 PROPOSED AREA FOR PHASE 1-B BUILDING 'C' = 7,760 SF A
 TOTAL ALLOWABLE AREA FOR 'B' = BASIC ALLOWABLE AREA + AREA INCREASE FOR SPRINKLERS OF 300% = 9,000SQ.FT.+(3X9000)SQ.FT. = 36,000SQ.FT. A
 NO. OF STORIES = 1
 HEIGHT = 40' MAX.
 TOTAL OCCUPANT LOAD = 132 A

DEFERRED SUBMITTALS:

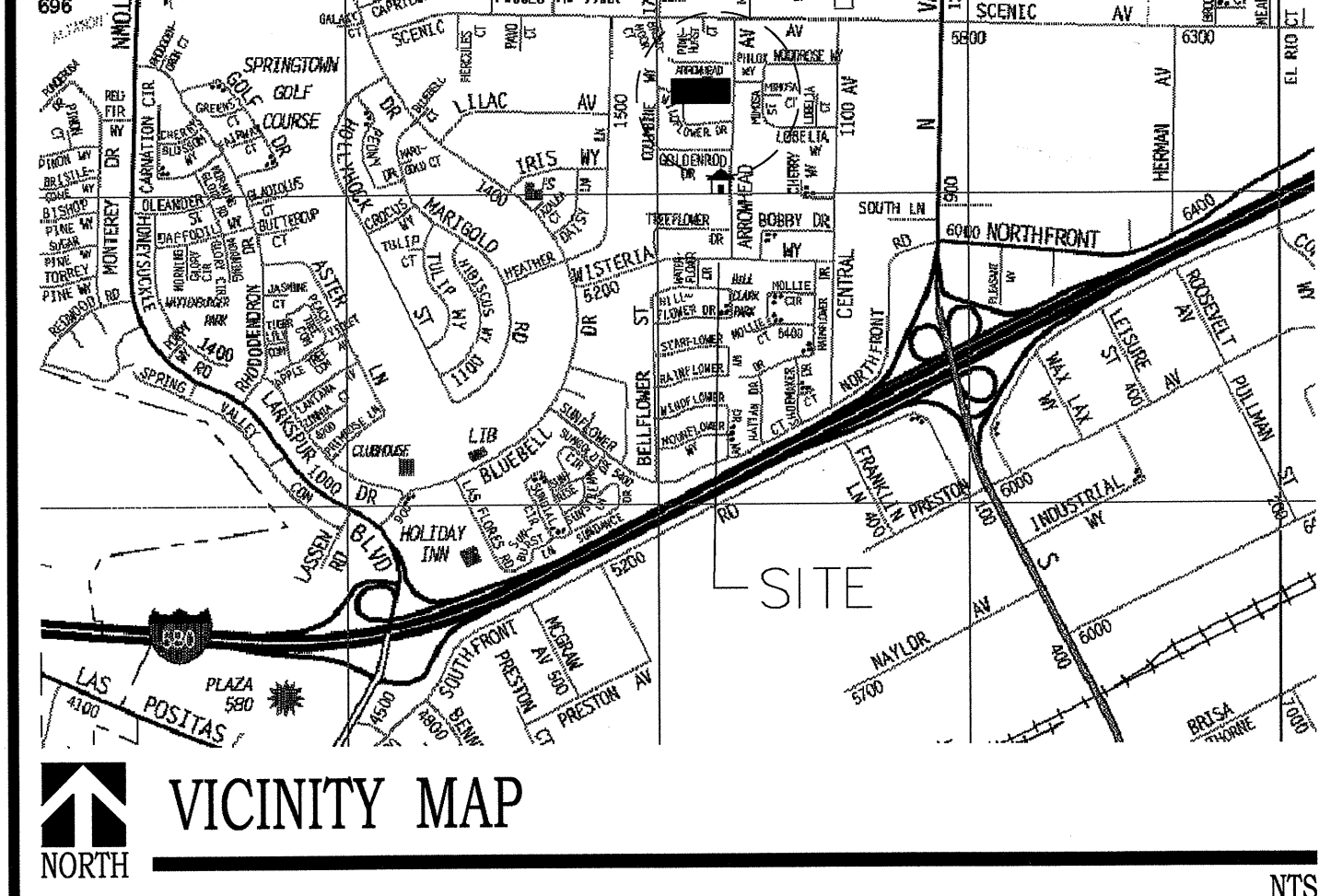
AUTOMATIC FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, MANUFACTURED ROOF TRUSSES & DETAILED UNDERGROUND FIRE LINE SHOP DRAWINGS. DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN CHARGE WHO SHALL REVIEW THEM & FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE BUILDING OFFICIAL HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS. CBC APPENDIX CHAPTER 1, SECTION 106.3.4.2.

NOTES:

- THE PROJECT STRUCTURAL ENGINEER OF RECORD MUST REVIEW THE SPRINKLER SYSTEM SUBMITTAL PRIOR TO SUBMITTING TO THE CITY. THE EOR MUST PROVIDE A STAMPED AND SIGNED LETTER TO THE CITY APPROVING BOTH THE STRUCTURAL ADEQUACY OF THE BUILDING TO SUPPORT THE SPRINKLER SYSTEM AND SPECIFICALLY APPROVES CONNECTION DETAILS OF THE SPRINKLER SYSTEM TO THE STRUCTURAL ELEMENTS, REFERENCING THE SPECIFIC FIRE PROTECTION DRAWINGS.
- THE PEDESTRIAN WALKWAY MUST BE SPRINKLERED AS WELL AS THE BUILDING, UNLESS SPECIFICALLY EXEMPTED BY THE LIVERMORE PLEASANTON FIRE MARSHAL. PLANS & SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF LIVERMORE PERMIT CENTER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ALL FIRE PROTECTION PIPING INCLUDING THE FIRE SPRINKLER RISER, SHALL BE LOCATED INSIDE AT AN APPROVED INDOOR LOCATION.

SPECIAL INSPECTION/ STRUCTURAL OBSERVATION:

- GRADING, DRAINAGE, PAD PREPARATION
 - DRILLED PIERS
 - STRUCTURAL REINFORCING STEEL
 - STRUCTURAL FRAMING & SHEER WALL
 - EPOXY INSTALLED ANCHOR & HOLD DOWN BOLTS
 - STRUCTURAL WELDING
 - CONCRETE TESTING FOR STRUCTURAL COLUMNS, INCL. REINFORCING STEEL BY KORBMACHER ENGINEERING INC. (925-454-9033)
 - MANUFACTURED TRUSSES
- BY HENRY JUSTINIANO & ASSOCIATES (SOILS ENG.)
 BY B.R. GOVINDRAO (ENGINEER OF RECORD)
 BY B.R. GOVINDRAO (ENGINEER OF RECORD)
 BY FABRICATOR'S SHOP WELDING INSPECTOR
 BY B.R. GOVINDRAO (ENGINEER OF RECORD)



OBSERVED DEFICIENCIES SHALL BE REPORTED TO THE OWNER, THE SPECIAL INSPECTOR, THE CONTRACTOR AND THE BUILDING OFFICIAL. PRIOR TO FINAL INSPECTION, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL, A WRITTEN STATEMENT THAT SITE VISITS HAVE BEEN MADE AND IDENTIFY ANY REPORTED DEFICIENCIES THAT HAVE NOT BEEN RESOLVED. CONTRACTOR IS RESPONSIBLE CHARGE TO SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND BUILDING OFFICIAL (CITY OF LIVERMORE PERMIT CENTER) FOR:

- ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL REQUIREMENT CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION.
- ACKNOWLEDGEMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL.
- PROCEDURES FOR EXERCISING CONTROL WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD OF, AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF THE REPORTS AND
- IDENTIFICATION AND QUALIFICATIONS OF THE PERSON(S) EXERCISING SUCH CONTROL AND THEIR POSITION(S) IN THE ORGANIZATION.

AUTOMATIC SPRINKLER SYSTEMS AS SPECIFIED BY LIVERMORE MUNICIPAL ORDINANCE - PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF LIVERMORE PERMIT CENTER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

ABBREVIATIONS:

A.B. ANCHOR BOLT	GLU.LAM. GLUE LAMINATED	S.C. SOLID CORE
ACC ACCESSIBLE	GND. GROUND	S.D. SOAP DISPENSER
ACCUS. ACCOUSTICAL	GWB GYPSUM WALL BOARD	S.N.D. SANITARY NAPKIN DISPOSAL
ACT ACTOUSTICAL CEILING TILE	GYP. BD. GYPSUM BOARD	S.S.D. SEE STRUCTURAL DRAWINGS
A.D. AREA DRAIN	H.B. HOSE BIB	SEC. SECURITY
ADJ. ADJUSTABLE	H.C. HOLLOW CORE	SEC. SECTION
AFF ABOVE FINISHED FLOOR	H.D. HOLD DOWN	S.F. SQUARE FEET
AGGR. AGGREGATE	HDWE. HARDWARE	SH. SHELF
ALT. ALTERNATE	HDR. HEADER	SHT. SHEET
ALUM. ALUMINUM	HDWD. HARDWOOD	SHTG. SHEATHING
APPROX. APPROXIMATE	HDWR. HARDWARE	SIM. SIMILAR
ARCH. ARCHITECT, ARCHITECTURAL	H.M. HOLLOW METAL	SOL. SOLID
BD. BOARD	H.O. HORIZONTAL	SPEC. SPECIFICATION
BET. BETWEEN	HR. HOUR	SQ. SQUARE
BLDG. BUILDING	HT. HEIGHT	S/S STAINLESS STEEL
BLKG. BLOCKING	HVAC HEATING VENTILATING AIR CONDITIONING	STD. STANDARD
BOB BOTTOM OF BEAM	HW HOT WATER	STG STORAGE
BOT. BOTTOM	I.D. INSIDE DIMENSION/ DIAMETER	STL. STEEL
B.O.W. BOTTOM OF WALL	IF INCH	STRUCT. STRUCTURAL
B.U.R. BUILT UP ROOF	INCL. INCLUDING	SUSP. SUSPENDED
BSMT. BASEMENT	INFO. INFORMATION	SYMP. SYMMETRICAL
B.W. BOTTOM OF WALL	INSUL. INSULATION	T. TREAD
C.A.R. COLD AIR RETURN	JAN. JANITOR	T.B. TOWEL BAR
CAB. CABINET	J.C. JOB CAPTAIN	T.B.D. TO BE DETERMINED
C/C CENTER TO CENTER	JST. JOIST	T.D.L. TIGHT DRAIN LINE
CEM. CEMENT	JT. JOINT	TEL. TELEPHONE
CER. CERAMIC	JT. JOINT	TEMP. TEMPERED
C.F.M CL. CENTER LINE	JT. JOINT	T & G TONGUE AND GROOVE
CLG. CEILING	KIT. KITCHEN	THERM. THERMOSTAT
CLO. CLOSET	LAM. LAMINATE	THK. THICK
CLR. CLEAR/ CLEARANCE	LAV. LAVATORY	T.O.C. TOP OF CURB
C.M.U. CONCRETE MASONRY UNIT	LANDLORD	T.O.P. TOP OF PLATE
CMTR. CENTER	M.C. MEDICINE CABINET	T.O.W. TOP OF WALL
COL. COLUMN	MC. MAXIMUM	T.P. TOILET PAPER DISPENSER
CONC. CONCRETE	MC MECHANICAL CONTRACTOR	T.S. TOILET SEAT COVER DISPENSER
CONST. CONSTRUCTION	MIN. MINIMUM	TYP. TYPICAL
CONT. CONTINUOUS	MIR. MIRROR	U/ UNDER
CT CERAMIC TILE	MISC. MISCELLANEOUS	UNF. UNFINISHED
CTR. COUNTER	MECH. MECHANICAL	U.O.N. UNLESS OTHERWISE NOTED
CW COLD WATER	MEP MECHANICAL ELECTRICAL AND PLUMBING	VERT. VERTICAL
DBL. DOUBLE	MFR. MANUFACTURER	V.F. VERIFY IN FIELD
DEG. DEGREES	MLDG. MOULDING	W/ WITH
DEPT. DEPARTMENT	MTL. METAL	W.A.R. WARM AIR REGISTER
DET. DETAIL	MAT'L MATERIAL	W.C. WATER CLOSET
DIAM., DIMENSION	(N) NEW	WD. WOOD
DISP. DISPOSAL OR DISPENSER	NAT. NATURAL	WDW. WINDOW
DN. DOWN	NEC. NECESSARY	WH WATER HEATER
DR. DOOR	N.I.C. NOT INCLUDED IN CONTRACT	W/O WITHOUT
DS. DOWNSPOUT	NO. # NUMBER	W.P. WEATHER PROTECTED
DW. DOWNSPOUT	N.T.S. NOT TO SCALE	WT. WEIGHT
DWG(S) DRAWING(S)	O/ OVER	WWM. WELDED WIRE MESH
DWR. DRAWER	O.A. OVERALL	YR. YEAR
(E) EXISTING	OBS. OBSOLETE	& AND
EA. EACH	OCC. OCCUPANCY	@ AT
EC ELECTRICAL CONTRACTOR	O.C. ON CENTER	CL CENTERLINE
ELEC. ELECTRICAL	O.D. OUTSIDE DIAMETER	PARALLEL
EL. ELEVATION	O.F. OUTSIDE FACE	⊥ PERPENDICULAR
ELEV. ELEVATOR	OFF. OFFICE	
ENCL. ENCLOSURE	OPG. OPENING	
EQ. EQUAL	OPP. OPPOSITE	
EQUIP. EQUIPMENT	OPP. HD. OPPOSITE HAND	
E.W. EACH WAY	P.D.L. PERFORATED DRAIN LINE	
EXIST. EXISTING	PC PLUMBING CONTRACTOR	
EXP. EXPOSED	PERF. PERFORATED	
EXT. EXTERIOR	PLAS. PLASTER	
F.D. FLOOR DRAIN	PL. LAM. PLASTIC LAMINATE	
FDN. FOUNDATION	PL. PLATE OR PROPERTY LINE	
F.F. FINISH FLOOR	PLYWD. PLYWOOD	
F.G. FINISHED GRADE	PR. PAIR	
FIN. FINISH	PRCST. PRECAST	
FLASH. FLASHING	PT. PAINT	
FLR. FLOOR	P.T.D. PAPER TOWEL DISPENSER	
FLOOR. FLUORESCENT	QUAN. QUANTITY	
F.O.C. FACE OF CABINET	QT. QUARRY TILE	
F.O.G. FACE OF GLAZING	(R) REMODEL	
F.O.S. FACE OF STUD	R. RADIUS	
FRMG. FRAMING	R.D. ROOF DRAIN	
FRP FIBERGLASS REINFORCED PANEL	RAD. RADIUS	
FRPF. FIREPROOF	REC. RECEPTACLE	
FT. FOOT/ FEET	REF. REFERENCE	
FTG. FOOTING	REFR. REFRIGERATOR	
FURR. FURRING	REQ.D. REQUIRED	
GA. GAUGE	REV. REVISED/ REVISION	
GALV. GALVANIZED	RGR. REGISTER	
G.B. GRAB BAR	R.H. ROBE HOOK	
G.C. GENERAL CONTRACTOR	RM. ROOM	
GEN. GENERAL	R.O. ROUGH OPENING	
G.F.I. GROUND FAULT INTERRUPTER	R/W RETAINING WALL	
GL. GLASS, GLAZING	RWD. REDWOOD	
G.L.B. GLUE LAM BEAM	R.W.L. RAIN WATER LEADER	

SYMBOLS

FAN	WALL REGISTER
PROPERTY LINE	FLOOR REGISTER, CEILING REGISTER
BLOCKING	CONTINUOUS FRAMING
SHEAR WALL	TOP OF SUB FLOOR ELEV.
BATT INSULATION	ADDENDUM OR REVISION NUMBER
NEW WALL, (SHADED)	DOOR NUMBER
EXISTING WALL TO BE REMOVED	WINDOW NUMBER
EXISTING WALL TO REMAIN	DETAIL - TOP: DWG. NUMBER OR LETTER
BEAMS, HEADERS, GLULAMS AS NOTED	CALLOUT BTM: SHEET NUMBER
POST- CONTINUOUS	SECTION - TOP: DWG. LETTER
POST ABOVE FRAMING LEVEL	CALLOUT BTM: SHEET NUMBER
METAL HANGER	ELEVATIONS - TOP: ELEVATION NUMBER
NORTH ARROW	BTM: SHEET NUMBER
	CEILING HEIGHT

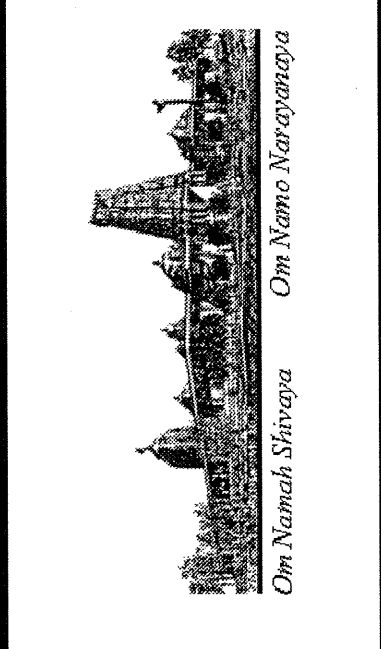
SHEET INDEX-PHASE 1-B

ARCHITECTURAL DRAWINGS - BUILDING "C" & COV'D WALKWAY	
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A-01	LEED-NC CHECKLIST
A-1.1	SITE PLAN
A-1.2	ACCESSIBILITY DETAILS
A-1.3	SECURITY ORDINANCE SHEET
A-2B	FLOOR PLAN, ABBREVIATIONS
A-3B	ROOF PLAN AND ELEVATIONS
A-4B	RESTROOM PLANS, INTERIOR ELEVATIONS REFLECTED CEILING PLAN
A-4.1B	DOOR & WINDOW SCHEDULES & SPECIFICATIONS
A-5B	BUILDING SECTIONS & DETAILS
A-6B	ARCHITECTURAL SPECIFICATIONS DETAILS
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S-2B	COVERED WALKWAY PLANS
S-3B	COVERED WALKWAY PLANS & SECTIONS AT E. FIRE LANE
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SD-2B	STRUCTURAL DETAILS SHT. 1
SD-3B	STRUCTURAL DETAILS SHT. 2
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S-6	COMPOST AREA PLANS & TRASH ENCLOSURE
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E-10B	ELECTRICAL LEGEND DRAWING INDEX
E-11	ELECTRIC ONE-LINE DIAGRAM & SCHEDULES
E-11B	ELECTRIC ONE-LINE DIAGRAM, DETAILS, SCHEDULES
E-12	ELECTRICAL SITE PLAN & DETAILS
E-12B	ELECTRICAL SITE PLAN
E-13B	LIGHTING PLAN
E-14B	POWER & SIGNAL PLAN
E-15B	TELECOMM/FIRE ALARM SYSTEM DIAGRAMS ELECTRICAL ROOF PLAN
MECHANICAL DRAWINGS - BUILDING "C"	
M10.0B	MECHANICAL LEGEND, DRAWING INDEX, GENERAL NOTES
M11.0B	MECHANICAL EQUIPMENT SCHEDULES
M11.2B	MECHANICAL EQUIPMENT SCHEDULES
M11.3B	MECHANICAL SPECIFICATIONS
M11.6B	MECHANICAL SPECIFICATIONS
M13.0B	MECHANICAL PLAN
M14.0B	MECHANICAL ROOF PLAN
M15.0B	MECHANICAL DETAILS
PLUMBING DRAWINGS - BUILDING "C"	
P10.0B	PLUMBING LEGEND, DRAWING INDEX, GENERAL NOTES
P10.1B	PLUMBING EQUIPMENT SCHEDULES
P11.0B	PLUMBING RISER DIAGRAMS
P11.2B	PLUMBING SPECIFICATIONS
P12.0B	PLUMBING SITE PLAN
P13.0B	PLUMBING FLOOR PLAN
P14.0B	PLUMBING ROOF PLAN
P15.0B	PLUMBING DETAILS
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CE-2	SECTIONS & DETAILS
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CE-5	ARROWHEAD AVENUE IMPROVEMENT PLAN
CE-6	STORM WATER CONTROL PLAN
CE-7	EROSION CONTROL PLAN/ NOTES & DETAILS, CE-6 - BIO-SWALE DETAIL PLAN.
T-1	TOPOGRAPHIC SURVEY
T-2	TOPOGRAPHIC SURVEY
LANDSCAPE DRAWINGS - BUILDING "C"	
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L1.1	COVER SHEET
L1.2	EXISTING LANDSCAPE CONDITIONS LAYOUT & FENCING PLAN
L1.3	LAYOUT & FENCING PLAN
L1.4	PLANTING PLAN
L1.5	HYDROZONE PLAN
L1.6	DETAILS
L1.7	DETAILS
L2.1	IRRIGATION PLAN
L2.2	NOTES & LEGEND
L2.3	IRRIGATION DETAILS
L2.4	IRRIGATION DETAILS
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L2.6	WATERING CALCULATIONS
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ENERGY COMPLIANCE	
T24.1	TITLE 24 COMPLIANCE FORMS
T24.1B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'
T24.2B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'
T24.3B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'
T24.4B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'
T24.5B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'
T24.6B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'
T24.7B	TITLE 24 COMPLIANCE FORMS BUILDING 'C'

CONSULTANTS:

ENGINEER OF RECORD/ STRUCTURAL ENGINEER B.R. GOVINDA RAO, S.E. 864 BANDOL WAY SAN RAMON, CA 94582 925-833-9784	ELECTRICAL ENGINEERING SATISH S. PAMIDI, PE AJMANI & PAMIDI, INC. 101 CALIFORNIA STREET SUITE 2025 SAN FRANCISCO, CA 94111 415-543-9340 x101
CIVIL ENGINEERING DE BOLT CIVIL ENGINEERING 811 SAN RAMON VALLEY BLVD. DANVILLE, CA 94526 925-837-3780	MECHANICAL ENGINEER KUPPE G. SRINIVAS, PE 415-543-9344 x102
LANDSCAPE ARCHITECTURE GATES & ASSOCIATES 2671 CROW CANYON ROAD SAN RAMON, CA 94582 925-736-8176	ENGINEER/ENERGY CONSULTANT MANGALORE SURESH, P.E. 531 NATALINO CIRCLE SACRAMENTO, CA 95835 916-568-9360 510-793-2658

REVISIONS	BY	
A 05-24-10	HCCC	
A 08-06-10	BPC	
	10-07-10	BD
A 10-12-10	BPC	



BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE., LIVERMORE, CA 94551

PHASE 1-B
 TITLE SHEET

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-1B

Note: Do not alter printed information. Complete proposed points and plan sheet/detail number columns.

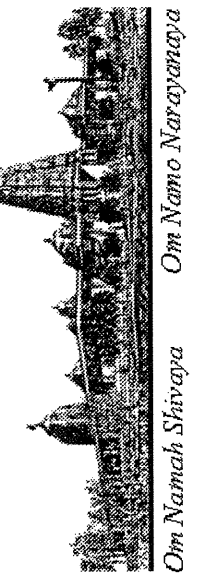
LEED Credit Number	Prerequisites and possible points	Indicate Total Proposed Points	Plan Sheet / Detail No.
Updated 10/1/10			
LEED for New Construction v2.2 Worksheet Project Name: Hindu Community and Cultural Center Phase 1 Site Work and Building C Administration Building Address: 1200 Arrowhead Avenue			
Points Sustainable Sites (14 points total)			
Prereq 1	Required Construction Activity Pollution Prevention	R	Sht. CE-7 for storm water control plan and CE-8 for erosion control plan.
Credit 1	1 Site Selection	1	Sht. L-1.2 for existing landscape conditions/aerial image demonstrating that site is infill on previously developed/disturbed land.
Credit 2	1 Development Density & Community Connectivity	0	
Credit 3	1 Brownfield Redevelopment	0	
Credit 4.1	1 Alternative Transportation, Public Transportation Access	0	
Credit 4.2	1 Alternative Transportation, Bicycle Storage & Changing Rooms	1	Bicycle storage, Sht. L-1.3
Credit 4.3	1 Alternative Transportation, Low-Emitting & Fuel-Efficient Vehicles	1	Sht. CE-3: 5% of preferred parking stalls assigned to low-emitting and fuel-efficient vehicles.
Credit 4.4	1 Alternative Transportation, Parking Capacity	1	Sht. CE-3: 5% of preferred parking spaces assigned to carpools / vanpools. Parking capacity on site meets, but does not exceed, the City requirements per the CUP.
Credit 5.1	1 Site Development, Protect or Restore Habitat	1	Vegetated area calculations, Sht. L-1.4
Credit 5.2	1 Site Development, Maximize Open Space	0	
Credit 6.1	1 Stormwater Design, Quantity Control	1	CE-7; BAHM Calculations already submitted to City
Credit 6.2	1 Stormwater Design, Quality Control	1	CE-7; Draft Maintenance Agreement submitted.
Credit 7.1	1 Heat Island Effect, Non-Roof	0	
Credit 7.2	1 Heat Island Effect, Roof	1	See Specification Section 07530 Thermoset (EPDM) Roofing
Credit 8	1 Light Pollution Reduction	1	Sht. L-3.1: Photometric diagrams and calculations

LEED Credit Number	Prerequisites and possible points	Indicate Total Proposed Points	
LEED for New Construction v2.2 Worksheet Project Name: Hindu Community and Cultural Center Phase 1 Site Work and Building C Administration Building Address: 1200 Arrowhead Avenue			
Credit 1.1	1 Building Reuse, Maintain 75% of Existing Walls, Floors & Roof	0	
Credit 1.2	1 Building Reuse, Maintain 100% of Existing Walls, Floors & Roof	0	
Credit 1.3	1 Building Reuse, Maintain 50% of Interior Non-Structural Elements	0	
Credit 2.1	1 Construction Waste Management, Divert 50% from Disposal	1	Refer to Specification Section 01515 - Construction Waste Management
Credit 2.2	1 Construction Waste Management, Divert 75% from Disposal	1	Refer to Specification Section 01515 - Construction Waste Management
Credit 3.1	1 Materials Reuse, 5%	0	
Credit 3.2	1 Materials Reuse, 10%	0	
Credit 4.1	1 Recycled Content, 10% (post-consumer + 1/2 pre-consumer)	1	Refer to Specification Section 01400 - Project Sustainability Requirements
Credit 4.2	1 Recycled Content, 20% (post-consumer + 1/2 pre-consumer)	0	
Credit 5.1	1 Regional Materials, 10% Extracted, Processed & Manufactured Regionally	0	
Credit 5.2	1 Regional Materials, 20% Extracted, Processed & Manufactured Regionally	0	
Credit 6	1 Rapidly Renewable Materials	0	
Credit 7	1 Certified Wood	0	
Points Indoor Environmental Quality (15 points total)			
Prereq 1	Required Minimum IAQ Performance	R	Refer to M11.1B for minimum OSA quantities. Specification Section 15900.
Prereq 2	Required Environmental Tobacco Smoke (ETS) Control	R	Smoking banned indoors
Credit 1	1 Outdoor Air Delivery Monitoring	1	Refer to M13.0B for CO ₂ sensors in Conference Rooms
Credit 2	1 Increased Ventilation	0	
Credit 3.1	1 Construction IAQ Management Plan, During Construction	1	Refer to M11.4B specifications
Credit 3.2	1 Construction IAQ Management Plan, Before Occupancy	1	Refer to M11.4B specifications
Credit 4.1	1 Low-Emitting Materials, Adhesives & Sealants	1	Refer to Specification Section 01400 - Project Sustainability Requirements
Credit 4.2	1 Low-Emitting Materials, Paints & Coatings	1	Refer to Specification Section 01400 - Project Sustainability Requirements
Credit 4.3	1 Low-Emitting Materials, Carpet Systems	1	Refer to Specification Section 01400 - Project Sustainability Requirements
Credit 4.4	1 Low-Emitting Materials, Composite Wood & Agrifiber Products	1	Refer to Specification Section 01400 - Project Sustainability Requirements
Credit 5	1 Indoor Chemical & Pollutant Source Control	1	Refer to M13.0B & M11.4B.
Credit 6.1	1 Controllability of Systems, Lighting	1	Refer to E13.0B for the lighting controls.
Credit 6.2	1 Controllability of Systems, Thermal Comfort	0	
Credit 7.1	1 Thermal Comfort, Design	0	

LEED Credit Number	Prerequisites and possible points	Indicate Total Proposed Points	
LEED for New Construction v2.2 Worksheet Project Name: Hindu Community and Cultural Center Phase 1 Site Work and Building C Administration Building Address: 1200 Arrowhead Avenue			
Points Water Efficiency (5 points total)			
Credit 1.1	1 Water Efficient Landscaping, Reduce by 50%	1	Water usage, Sht. L-2.6
Credit 1.2	1 Water Efficient Landscaping, No Potable Use or No Irrigation	0	
Credit 2	1 Innovative Wastewater Technologies	0	
Credit 3.1	1 Water Use Reduction, 20% Reduction	1	Refer to attached calculations dated 5/25/2010
Credit 3.2	1 Water Use Reduction, 30% Reduction	1	Refer to attached calculations dated 5/25/2010
Points Energy and Atmosphere (17 points)			
Prereq 1	Required Fundamental Commissioning of the Building Energy Systems	R	Refer to Specification Section 01810 - Commissioning
Prereq 2	Required Minimum Energy Performance	R	Refer to DWG T24-1B, Form PERF-1C
Prereq 3	Required Fundamental Refrigerant Management	R	Refer to DWGM11.4B, Specifications
Credit 1	1 to 10 Optimize Energy Performance		
	1 10.5% New Buildings	1	Refer to DWG T24-1B, Form PERF-1C
	2 14% New Buildings	1	Refer to DWG T24-1B, Form PERF-1C
	3 17.5% New Buildings	0	
	4 21% New Buildings	0	
	5 24.5% New Buildings	0	
	6 28% New Buildings	0	
	7 31.5% New Buildings	0	
	8 35% New Buildings	0	
	9 38.5% New Buildings	0	
	10 42% New Buildings	0	
Credit 2	1 to 3 On-Site Renewable Energy		
	1 2.5% Renewable Energy	0	
	2 7.5% Renewable Energy	0	
	3 12.5% Renewable Energy	0	
Credit 3	1 Enhanced Commissioning	0	
Credit 4	1 Enhanced Refrigerant Management	0	
Credit 5	1 Measurement & Verification	0	
Credit 6	1 Green Power	0	
Points Materials and Resources (13 points total)			
Prereq 1	Required Storage & Collection of Recyclables	R	Sht. A-2B shows designated area for recycling containers for paper, corrugated cardboard, glass, plastics and metals

LEED Credit Number	Prerequisites and possible points	Indicate Total Proposed Points	
LEED for New Construction v2.2 Worksheet Project Name: Hindu Community and Cultural Center Phase 1 Site Work and Building C Administration Building Address: 1200 Arrowhead Avenue			
Credit 7.2	1 Thermal Comfort, Verification	0	
Credit 8.1	1 Daylight & Views, Daylight 75% of Spaces	0	
Credit 8.2	1 Daylight & Views, Views for 90% of Spaces	0	
Points Innovation & Design Process (5 points total)			
Credit 1.1	1 Innovation in Design: Onsite Composting Facility	1	Onsite composting facility
Credit 1.2	1 Innovation in Design: Interactive educational kiosk	1	Interactive educational kiosk for temple visitors on sustainability principles ingrained in Hinduism
Credit 1.3	1 Innovation in Design: Indicate Specific Title	0	
Credit 1.4	1 Innovation in Design: Indicate Specific Title	0	
Credit 2	1 LEED® Accredited Professional	1	Kuppe G. Srinivas, P.E., LEED AP, principal member of project team
Total Proposed Points		27	
Total Achieved Points (For Staff Use)			
Credit : / Inspection Notes (For Staff Use)			

REVISIONS	BY
△ 05-24-10	HCCC
△ 08-06-10	BPC
10-07-10	BD
△ 10-12-10	BPC



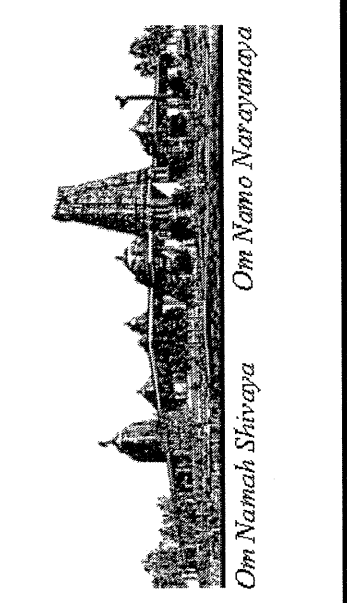
BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
1200 ARROWHEAD AVE, LIVERMORE, CA 94551

PHASE 1-B
LEED-NC CHECKLIST

DATE
03/12/10
SCALE:
DRAWN BY:
RL
PROJECT:
ARROWHEAD

A-0.1

REVISIONS	BY
△ 05-24-10	HCCC
△ 08-06-10	BPC
10-07-10	BD
△ 10-12-10	BPC
△ 11-02-10	BPC

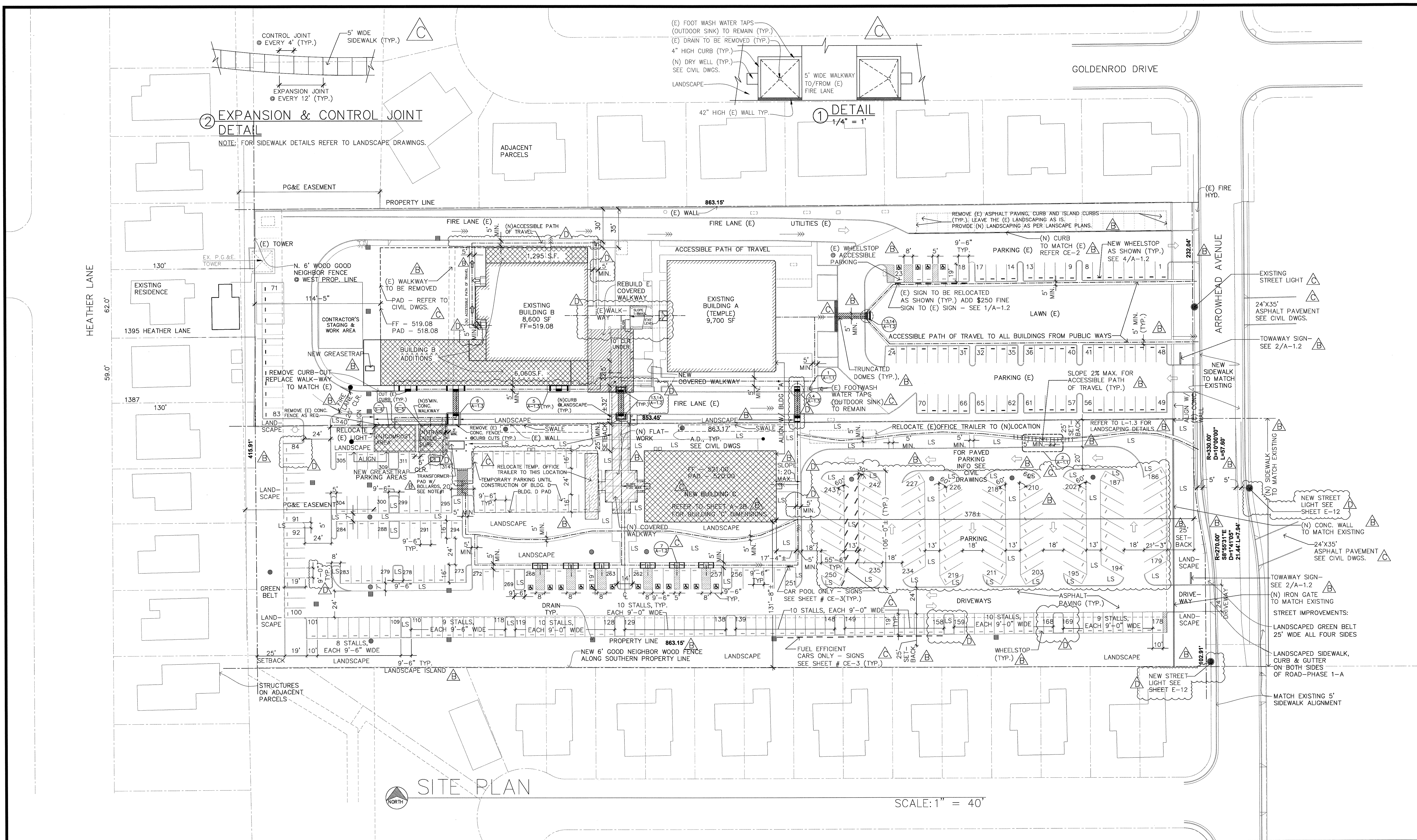


BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-B
 SITE MASTER PLAN
 AND PROPOSED BUILDING "C"

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-1.1



② EXPANSION & CONTROL JOINT DETAIL

NOTE: FOR SIDEWALK DETAILS REFER TO LANDSCAPE DRAWINGS.

① DETAIL
1/4" = 1'

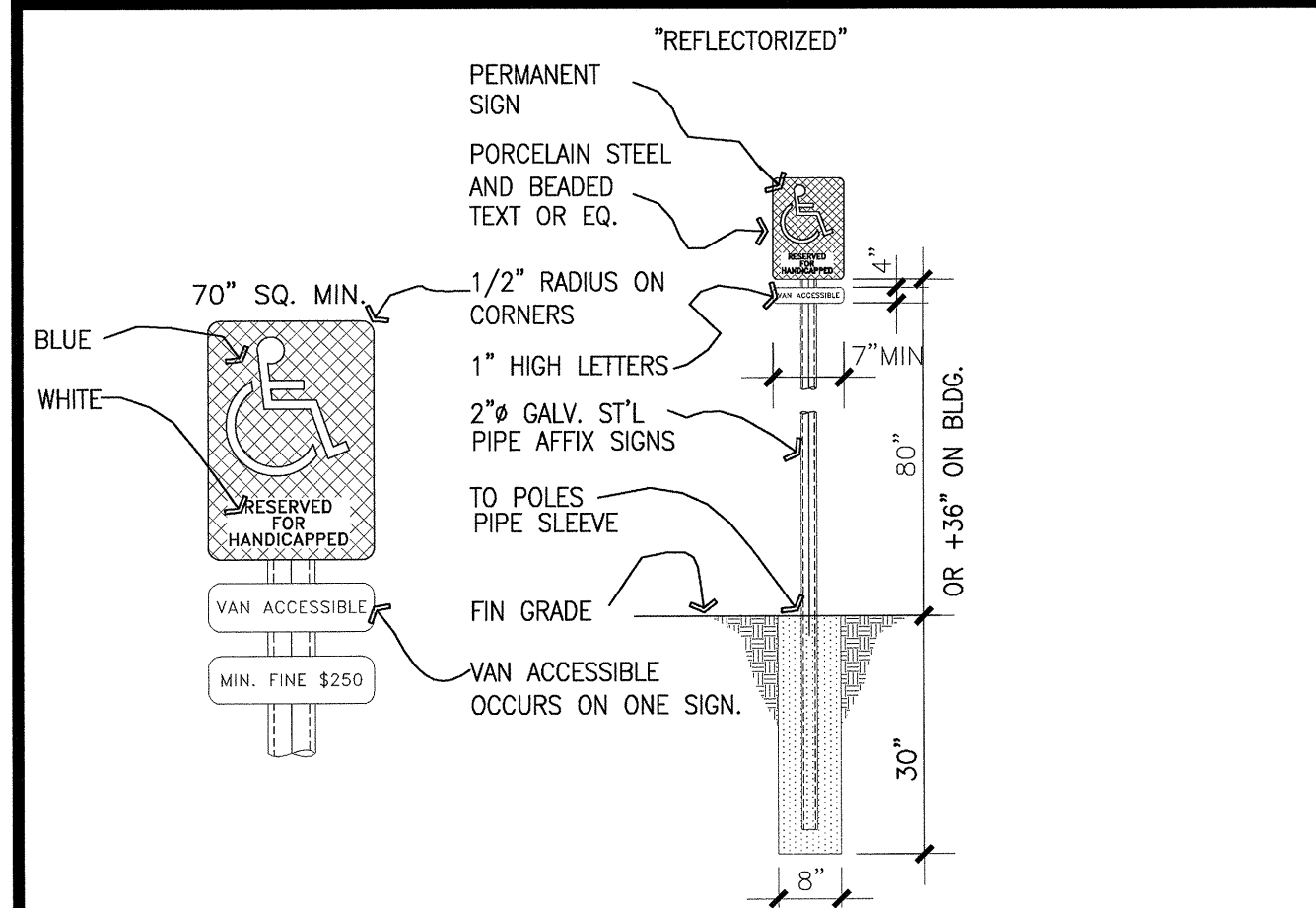
LEGEND:

	EXISTING BUILDINGS
	PROPOSED ADDITION
	FUTURE
	(N) COVERED WALKWAY
	ACCESSIBLE PATH OF TRAVEL

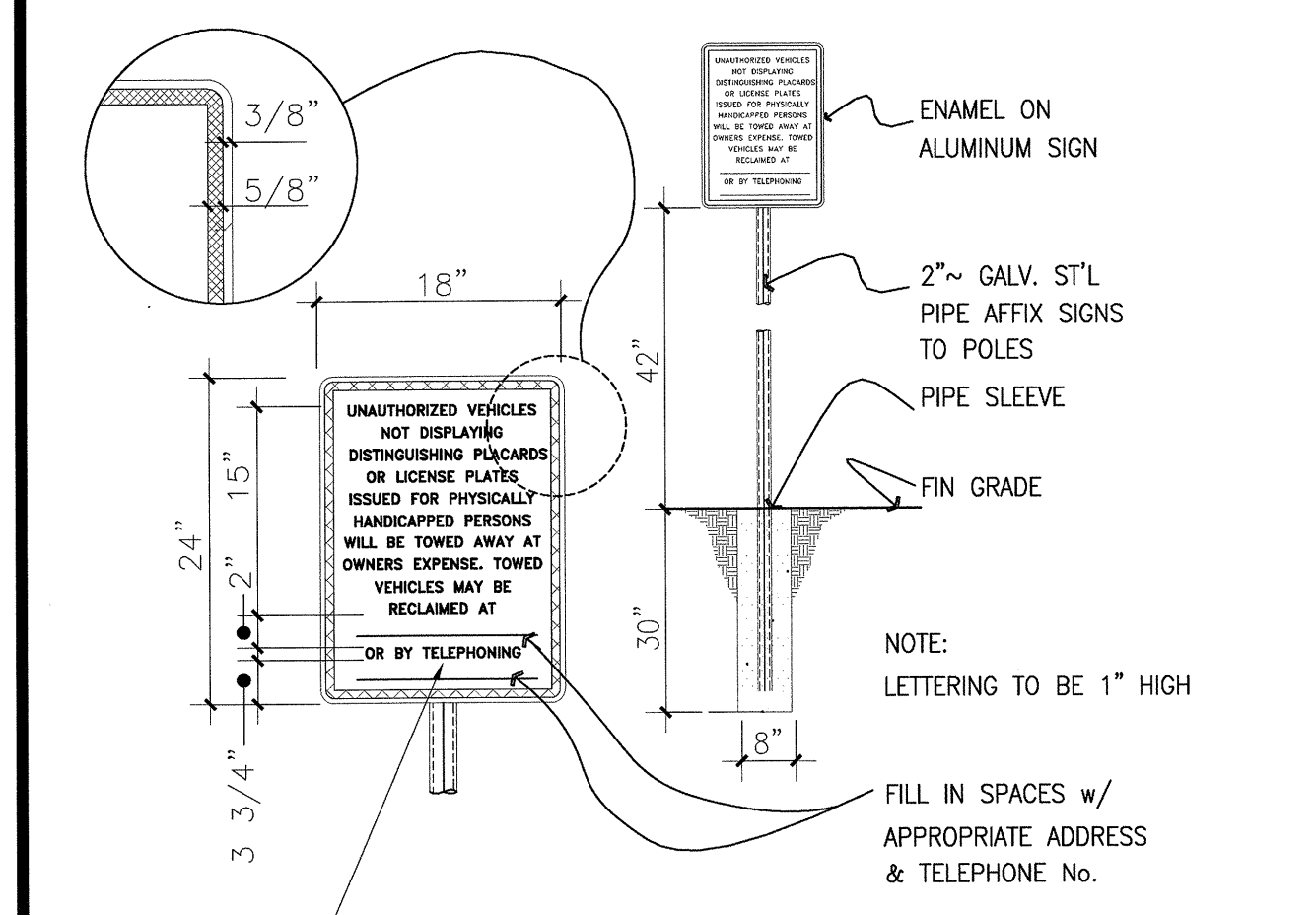
- NOTES:**
1. PROVIDE REMOVABLE BOLLARDS AS PER PG&E STANDARDS ON COMMON HOUSEKEEPING PAD. FOLLOW PG&E REQUIREMENTS FOR PLACEMENT & QUANTITY OF BOLLARDS.
 2. REFER TO CIVIL SHEET # CE-3 FOR MORE INFORMATION ON SITE.
 3. REBAR # 4, 12" EACH WAY TO BE PROVIDED @ ALL WALKWAYS.

EXISTING # OF PARKING SPACES - 94 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 STALLS TO BE REMOVED AS PER CONDITIONS OF APPROVAL - 22
 TOTAL # OF (E) PARKING SPACES REMAINING - 72 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 PROPOSED # OF PARKING SPACES - 242 (INCLUDING 12 ACCESSIBLE PARKING SPACES,
 17 CAR/VAN POOL SPACES & 17 FUEL EFFICIENT CAR SPACES)
 TOTAL # OF PARKING SPACES - 314
 ACCESSIBLE PARKING SPACES REQUIRED - 8
 PROVIDED - 16

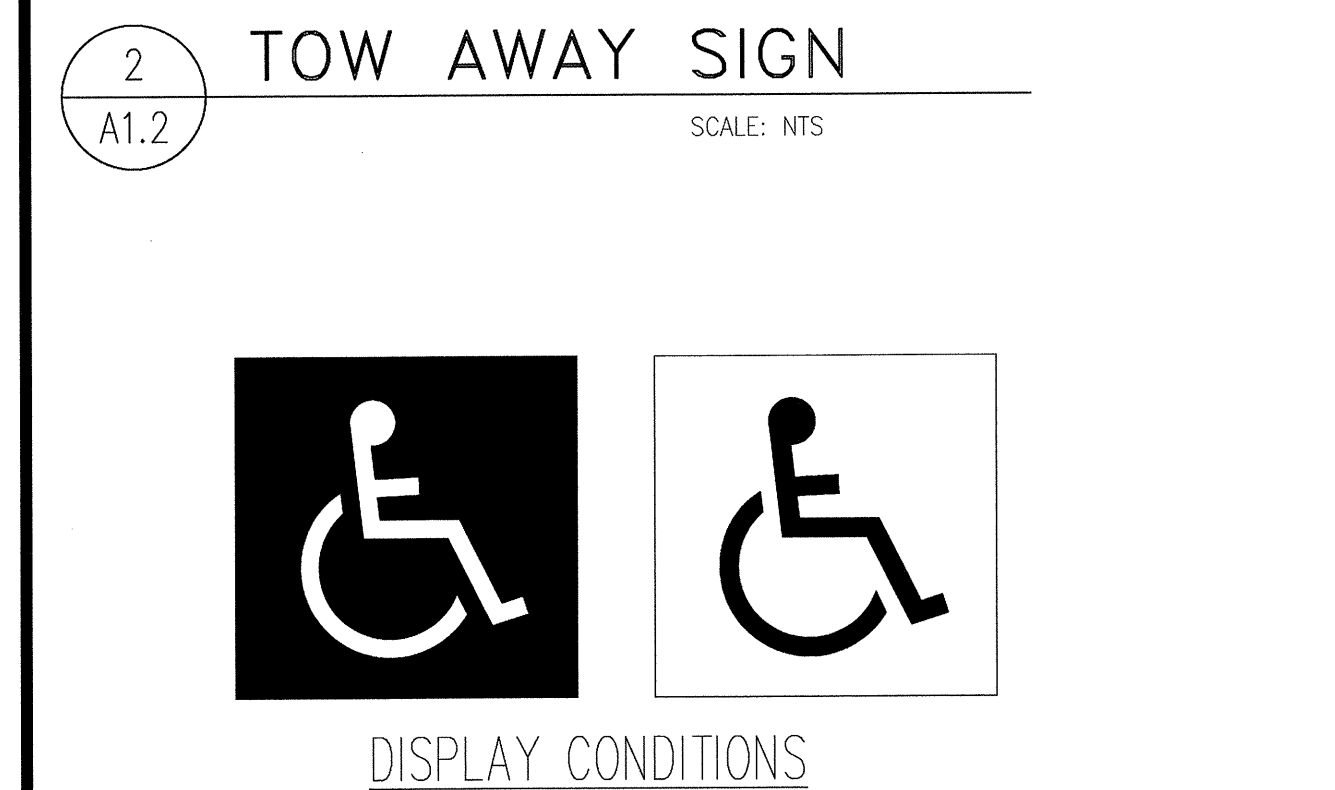
94 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 22
 72 (INCLUDING 4 ACCESSIBLE PARKING SPACES)
 242 (INCLUDING 12 ACCESSIBLE PARKING SPACES,
 17 CAR/VAN POOL SPACES & 17 FUEL EFFICIENT CAR SPACES)
 314
 8
 16



1 ACCESSIBLE PARKING SIGN
SCALE: NTS



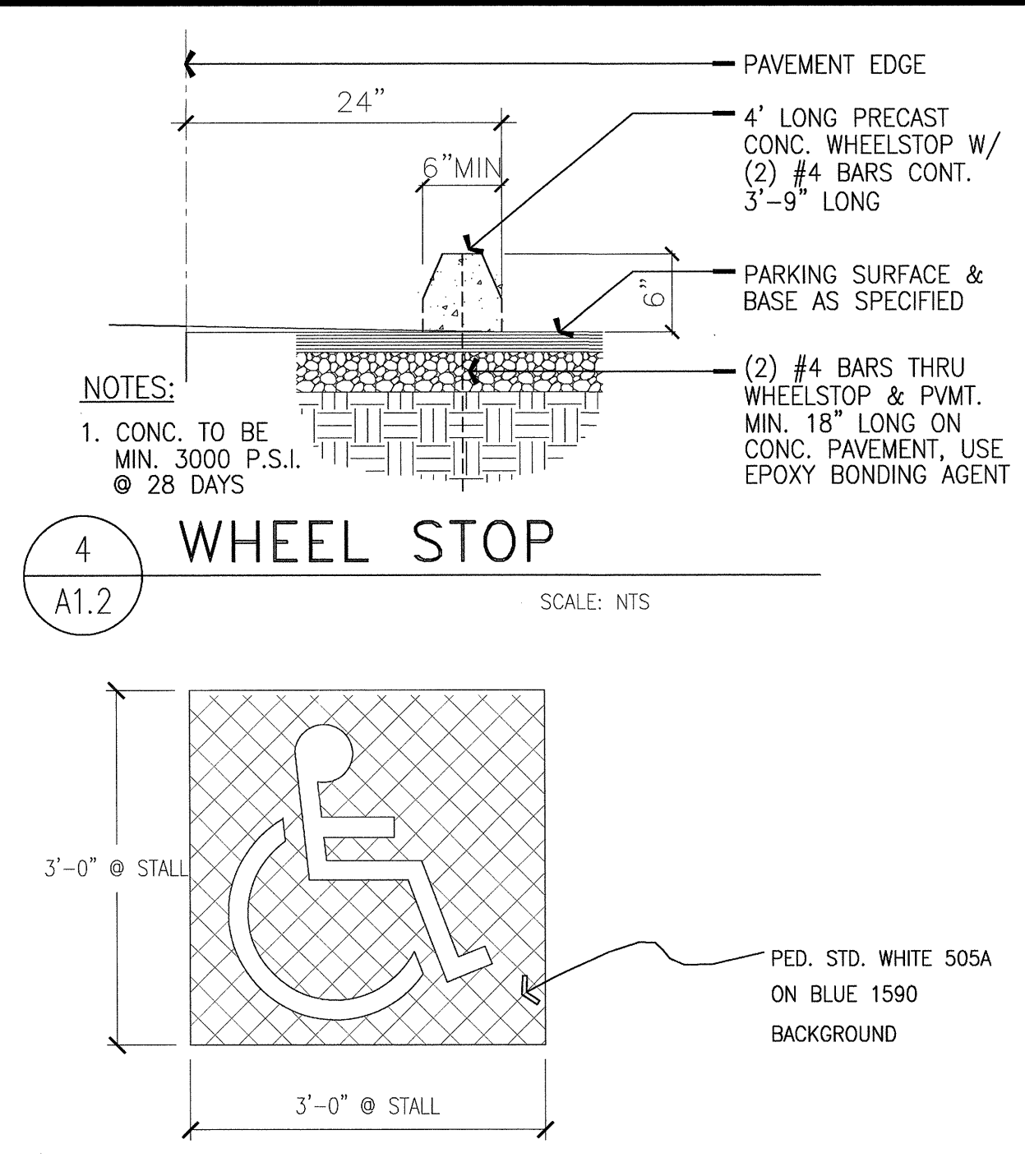
2 TOW AWAY SIGN
SCALE: NTS



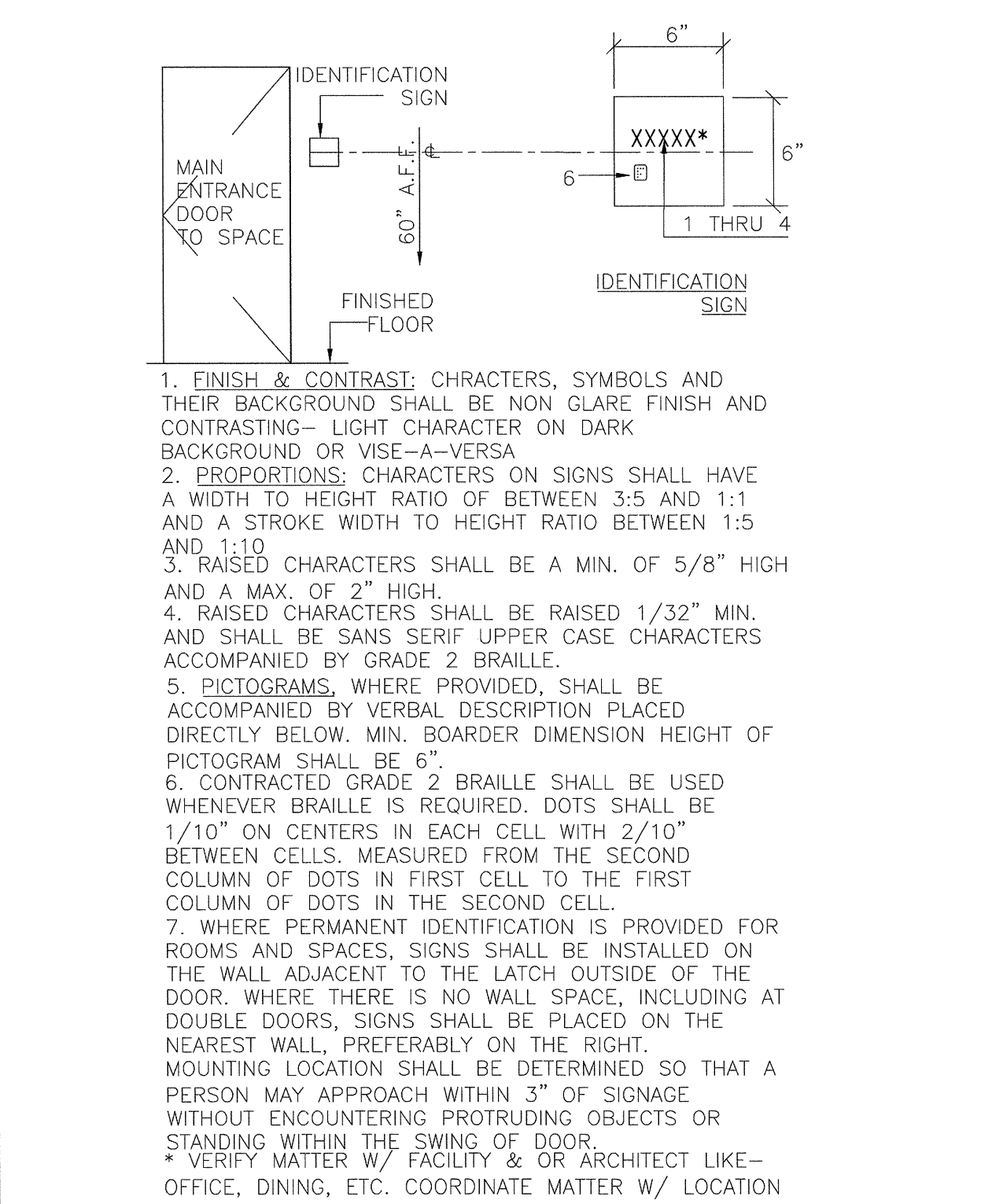
3 INTERNATIONAL SYMBOL
SCALE: NTS



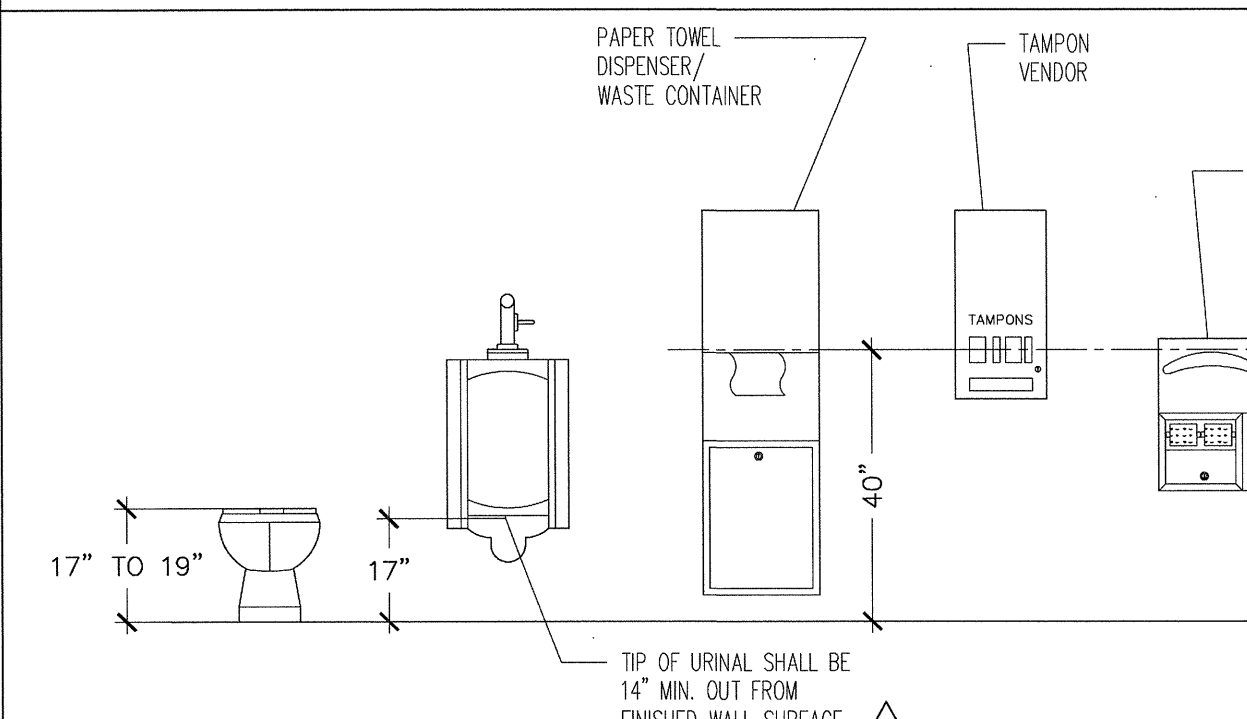
4 WHEEL STOP
SCALE: NTS



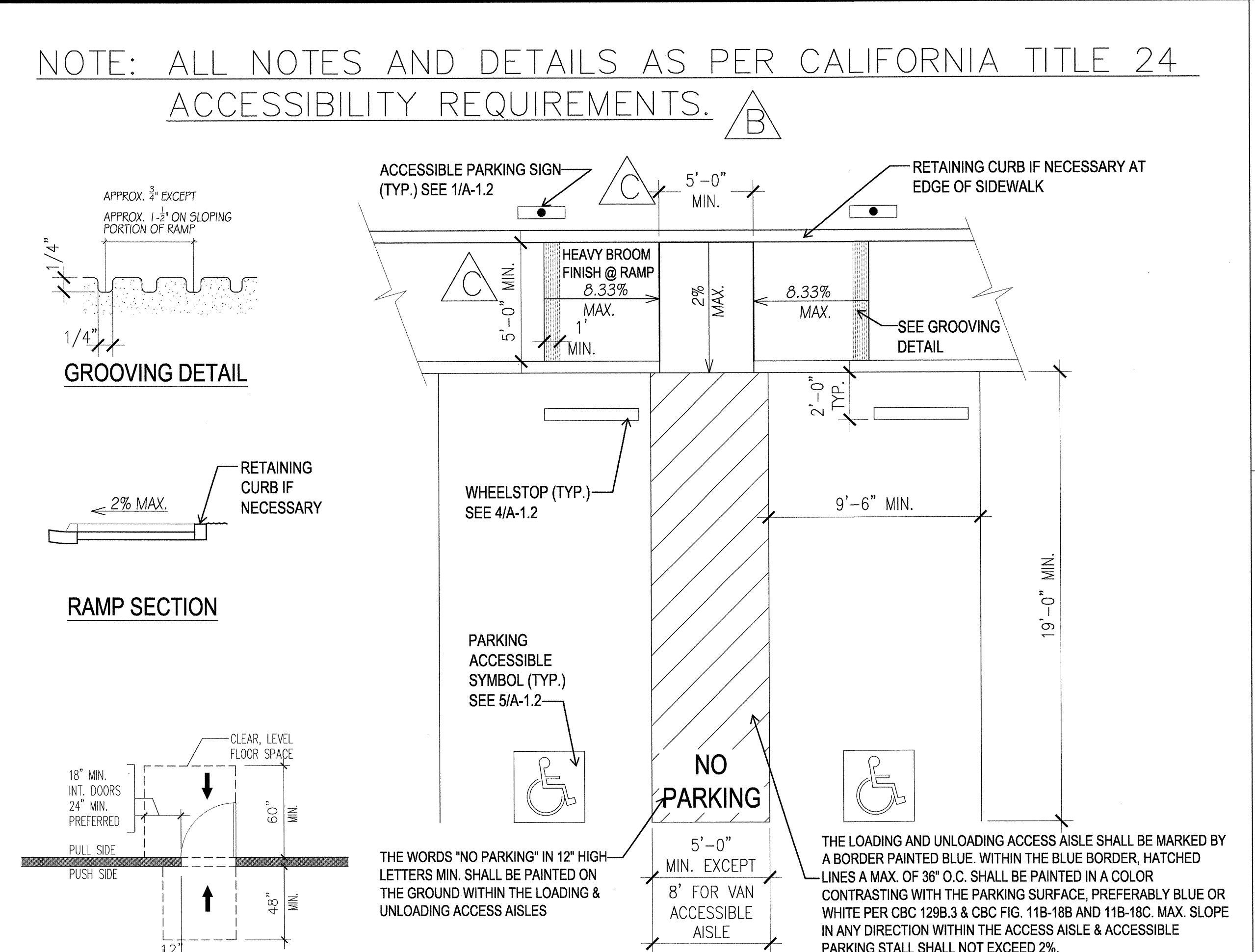
5 PARKING ACCES. SYM.
SCALE: 1/4" = 1'-0"



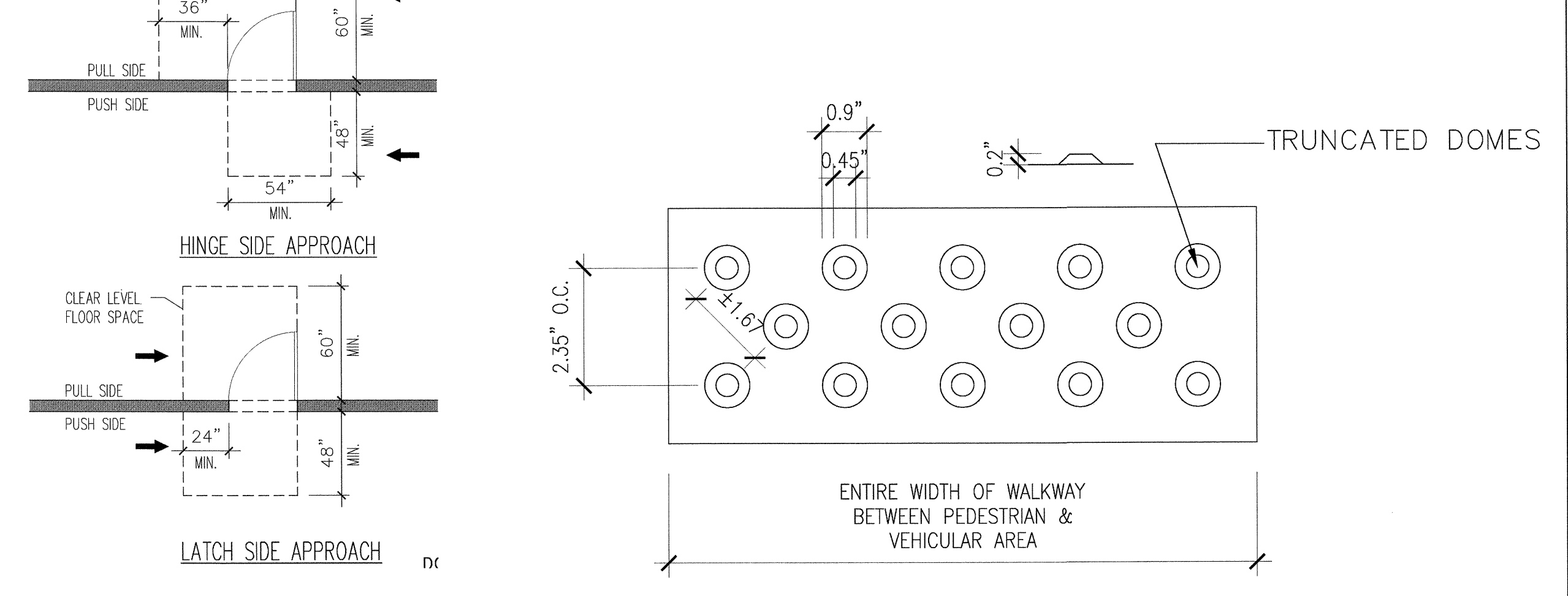
6 IDENTIFICATION SIGN
SCALE: NTS



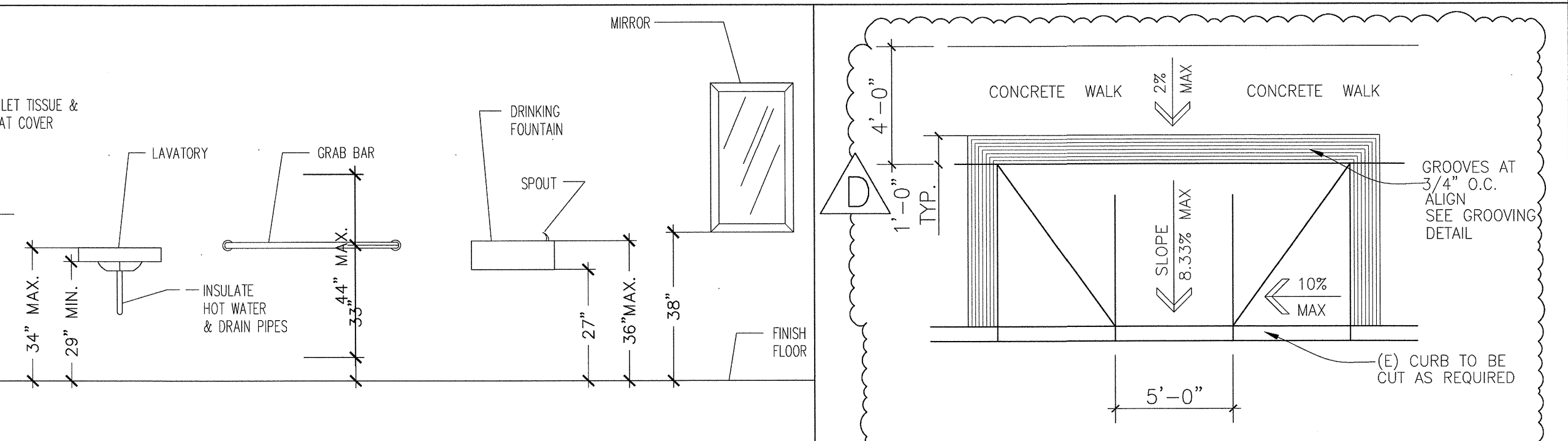
7 CURB DETAILS
SCALE: 1/4" = 1'-0"



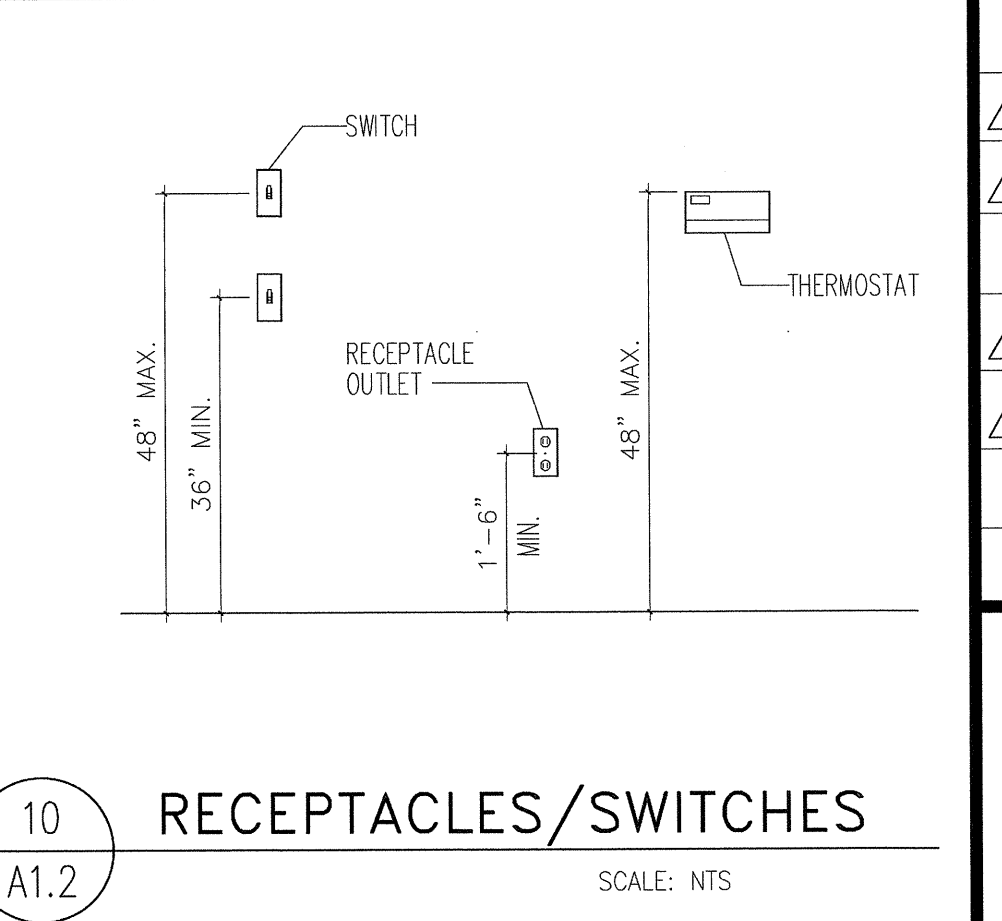
8 DOOR CLEARANCES
SCALE: NTS



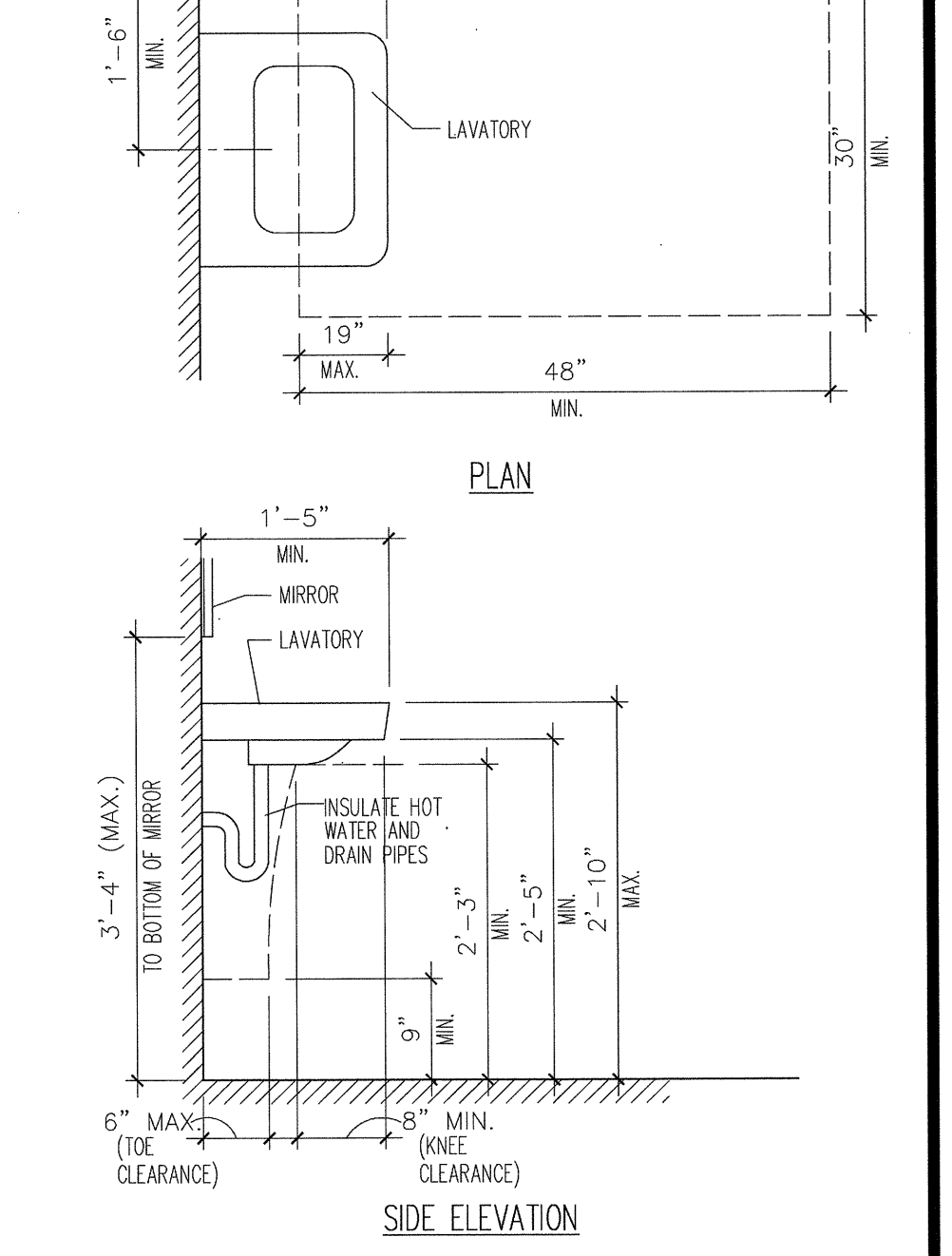
9 RESTROOM FIXTURE ACCESSORIES
SCALE: NTS



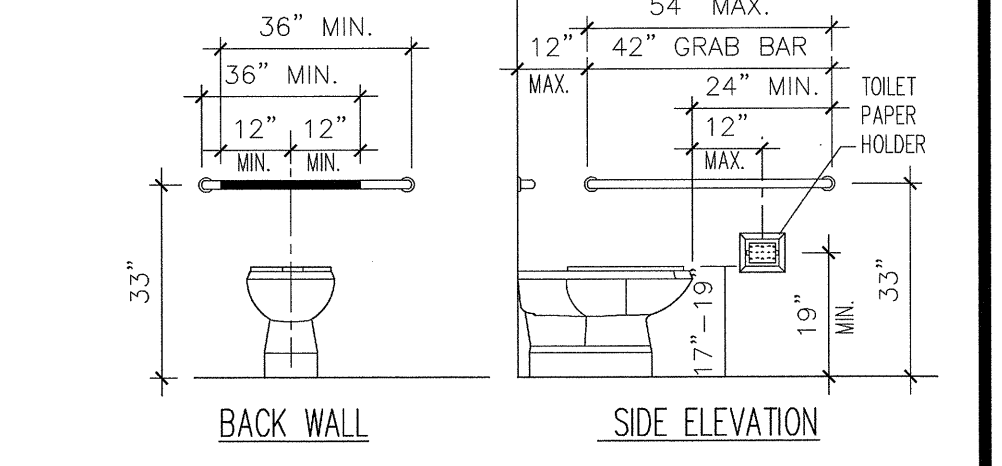
10 RECEPTACLES/SWITCHES
SCALE: NTS



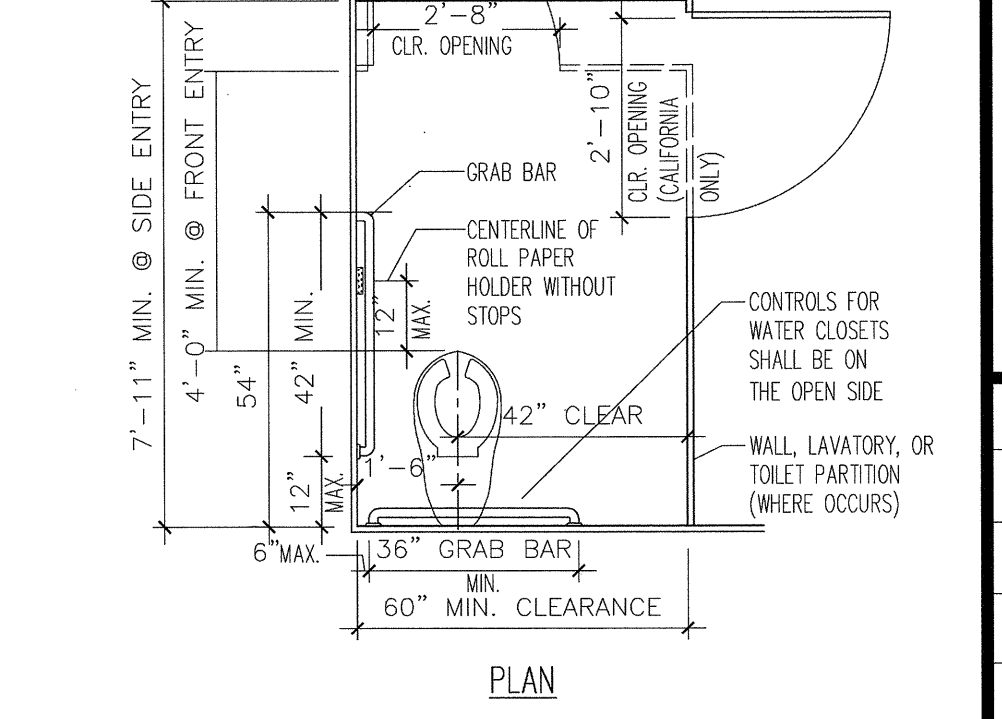
11 LAVATORY DETAILS
SCALE: NTS



12 TOILET STALL DETAILS
SCALE: NTS

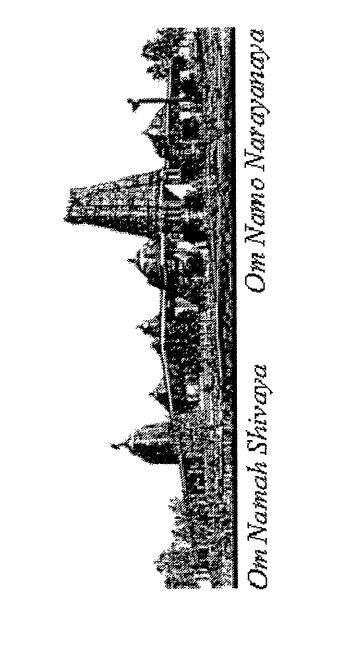


13 TRUNCATED DOMES DETAIL
SCALE: 1" = 1'-0"



14 CURB RAMP DETAIL
SCALE: 1" = 1'-0"

REVISIONS	BY
A	05-24-10 HCCC
B	08-06-10 BPC
	10-07-10 BD
	10-12-10 BPC
	11-02-10 BPC



BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
1200 ARROWHEAD AVE. LIVERMORE, CA 94551

ACCESSIBILITY DETAILS

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-1.2



Security Ordinance

Livermore Municipal Code Section 15.18

These are **excerpts** from the Livermore Municipal Code section 15.18 relating to security standards (commonly known as the Security Code) provided by the Police Department in an effort to avoid any misunderstanding regarding our security requirements. ***Please note: these are only excerpts and do not include all the codes.** If you have any questions regarding these codes or have special concerns not covered, please contact the Livermore Police Department Crime Prevention Unit at 371-4797 or fax 371-4707.

Commercial and Industrial Units

Section 15.18.010 Purpose:

The purpose of this chapter is to provide a minimum level of resistance to unlawful entry to buildings by establishing minimum standards of design and maintenance of certain security equipment within the city. The provisions of this chapter are not intended to prevent the use of any material, device, hardware or method not specifically prescribed in this chapter, when such alternate provides equivalent security and is approved by the Police Department.

Section 15.18.080 Exterior Doors

Each exterior door shall be secured as follows, where not prohibited by the building code:

- A. Single doors shall be equipped with a single cylinder dead bolt with a turnpiece with a minimum throw of one inch. A hook or expanding bolt may have a throw of three-quarters inch. A dead bolt must contain an insert of hardened steel to resist attempts at cutting through the bolt.
- B. On pairs of doors, the active leaf shall be equipped with the type lock required for a single door as in subsection (A) above. The inactive leaf shall be equipped with flush bolts protected by hardened material, with a minimum throw of five-eighths inch at the top and bottom.
- C. Cylinders shall be so designed or protected with cylinder guards, that they cannot be gripped by pliers or other wrenching devices.
- D. Rolling overhead doors, solid overhead swinging, sliding or accordion-type doors shall be equipped with a cylinder lock or padlock when not controlled by electric power operation.

Information Bulletin IB-43 (Updated 08/01/08)

City Hall
Permit Center

Community Development Department
1052 South Livermore Avenue
Livermore, CA 94550

phone: (925) 960-4410
fax: (925) 960-4419
TDD: (925) 960-4104

www.ci.livermore.ca.us

Section 15.18.130 Special Security

- A. Intrusion Devices. If the enforcing authority determines that the security measures and locking devices described in this chapter do not adequately secure the building, due to special conditions, he may require the installation and maintenance of an intrusion device (burglar alarm system).
- B. Each establishment listed below, having specific-type inventories, shall be protected by supervised service silent or local alarm (see Chapter 5.12, Alarm Systems, of this code):
 - 1. Art galleries;
 - 2. Camera stores;
 - 3. Clothing stores (new);
 - 4. Coin and stamp stores;
 - 5. Drugstores;
 - 6. Electronic equipment, include musical instruments;
 - 7. Fur stores;
 - 8. Guns and ammunition;
 - 9. Hazardous material, storage or processing;
 - 10. Industrial tool supply houses;
 - 11. Jewelry stores, retail manufacturing, wholesale;
 - 12. Liquor stores;
 - 13. Pawnshops;
 - 14. Office machines (excluding furniture);
 - 15. Precious metal storage
 - 16. Service stations;
 - 17. Wholesale drugs;
 - 18. Wholesale liquor, wine or beer;
 - 19. Wholesale tobacco.

Mounting screws for the lock case shall be inaccessible from the outside. A lock bolt shall be of hardened steel or have hardened steel inserts. The lock bolt shall engage the strike sufficiently to prevent its being disengaged by any possible movement of the door within the space or clearances provided for installation and operation. If a padlock is used it shall have a minimum of one-quarter-inch diameter hardened steel shackle and hardened steel hasp attached by bolts which are non-removable from the exterior.

- F. Outside pin-type hinges on all exterior doors shall be provided with non-removable pins and shall have jamb pins which project through both hinge leaves and prevent removal of the door if the pin is removed from the hinge. Jamb pins shall be not less than three-sixteenths-inch diameter steel and shall project into the door and jamb not less than one-quarter inch. Jamb pins are not required for hinges which are shaped to prevent removal of the door when the hinge pin is removed.
- G. Glazed panels in doors or adjacent to the doorframe shall be of approved, burglary-resistant material. ***Note:** A double cylinder deadbolt lock may be installed in-lieu of security glazing. Signage must accompany this installation: (Door must remain unlocked during business hours)
- I. Doorjamb shall be constructed or protected to prevent violation of the function of the strike.
- L. Exterior doors shall be illuminated with a minimum of one footcandle of light at the door. Lights shall be protected from breakage or tampering.

Section 15.18.085 Loading/Unloading Docks, Shipping/Receiving Areas

- A. Exterior loading and unloading docks and shipping and receiving areas are not allowed.
- B. Such areas may not extend outward past the exterior walls of the building.
- C. Such areas shall be designed so that cargo vehicles may be maneuvered to the door opening and cargo moved directly between the vehicle and the building, thus minimizing the opportunity for theft.
- D. Doors to these areas shall be flush-mounted to eliminate the possibility of goods or persons being secreted in recessed doorways.

Section 15.18.100 Other Openings

Each other type of opening shall be secured as follows, where not prohibited by the building code:

- A. Exterior transoms, with any dimension exceeding twelve inches, shall be of approved burglary-resistant material.
- B. All skylights on the roof of any building or premises used for business purposes shall be provided with:
 - 1. Steel bars of at least one-half inch round or one by one-fourth inch flat, spaced not more than five inches apart, cross-braced to prevent spreading, mounted inside the skylight, and secured by non-removable bolts; or
 - 2. A steel grille of at least one-eighth inch metal with a maximum two-inch mesh mounted inside the skylight and secured by non-removable bolts; or
 - 3. Skylights which are integrally constructed in such a manner as to provide equivalent security protection to that provided by the opening protection indicated in items 1 or 2 above shall not be required to provide additional bars or grilles, provided that such integrally constructed skylight, or any component of it, shall not be openable from the exterior.

- C. Hatchways shall be covered on the inside with at least 16-gauge sheet steel or equivalent, and shall be secured from the inside with a slide bar or slide bolt. Outside pin-type hinges shall be provided with non-removable pins. Exposed hinge-screws shall be of the non-removable type.
- D. Air duct or air vent openings exceeding eight by twelve inches shall be secured by iron bars of at least one-half inch diameter, or one by one-quarter inch flat material spaced five inches apart and securely fastened, or by a steel grille of at least one-eighth inch material of not more than two-inch mesh and securely fastened. Barriers on the outside shall be secured with round-head flush bolts. (Prior code 6.72)

Section 15.18.110 Ladders

Ladders (excluding fire escapes) located on the exterior of a building, which could provide access to the roof, shall be secured from unauthorized use by covering the rungs with an approved barrier locked in place with a padlock. The padlock shall have a minimum of five pin tumblers and be of case-hardened steel. Hinges used shall be of non-removable type. The barrier shall provide a minimum of eight feet of continuous covering extending 12 feet above ground level or to the top of the ladder, whichever is lower (1960 code § 6.73).

Section 15.18.120 Lighting and Parking Areas

The following restrictions as to lighting of commercial building shall apply, where not restricted by the building code:

- A. Open or covered parking areas providing more than 10 parking spaces shall be illuminated with a maintained minimum of one footcandle of light at the parking surface when open for business during the hours of darkness.
- B. Lighting fixtures shall be so arranged as to disseminate light uniformly over the parking surface.
- C. Lights shall be protected from breakage or tampering.
- D. All lighting shall be private and not substituted with public street lighting to meet the requirements of the security code (1960 code § 6.75).

Section 15.18.125 Address Numbers

- A. All commercial buildings shall display address numerals in such a position that the numerals are easily visible to approaching emergency vehicles.
- B. Such numerals shall be no less than six inches in height, with a minimum width of one inch, and shall be contrasting color to the background to which they are mounted or attached. During the hours of darkness the numerals shall be illuminated with a maintained minimum of one footcandle of light. In lieu of exterior illumination, the numerals may be backlighted with a fixture which is resistant to tampering and breakage, having an opaque background to which the numerals are mounted.
- C. The building address must be displayed on the front of the building and shall be mounted on a non-moveable surface nearest to the street.
- D. Commercial buildings housing more than one address must also display and maintain the address numerals on any rear or side exterior doors facing driveways, parking lots or other vehicle access.

REVISIONS	BY

HINDU COMMUNITY and CULTURAL CENTER
1200 ARROWHEAD AVE. LIVERMORE, CA 94551

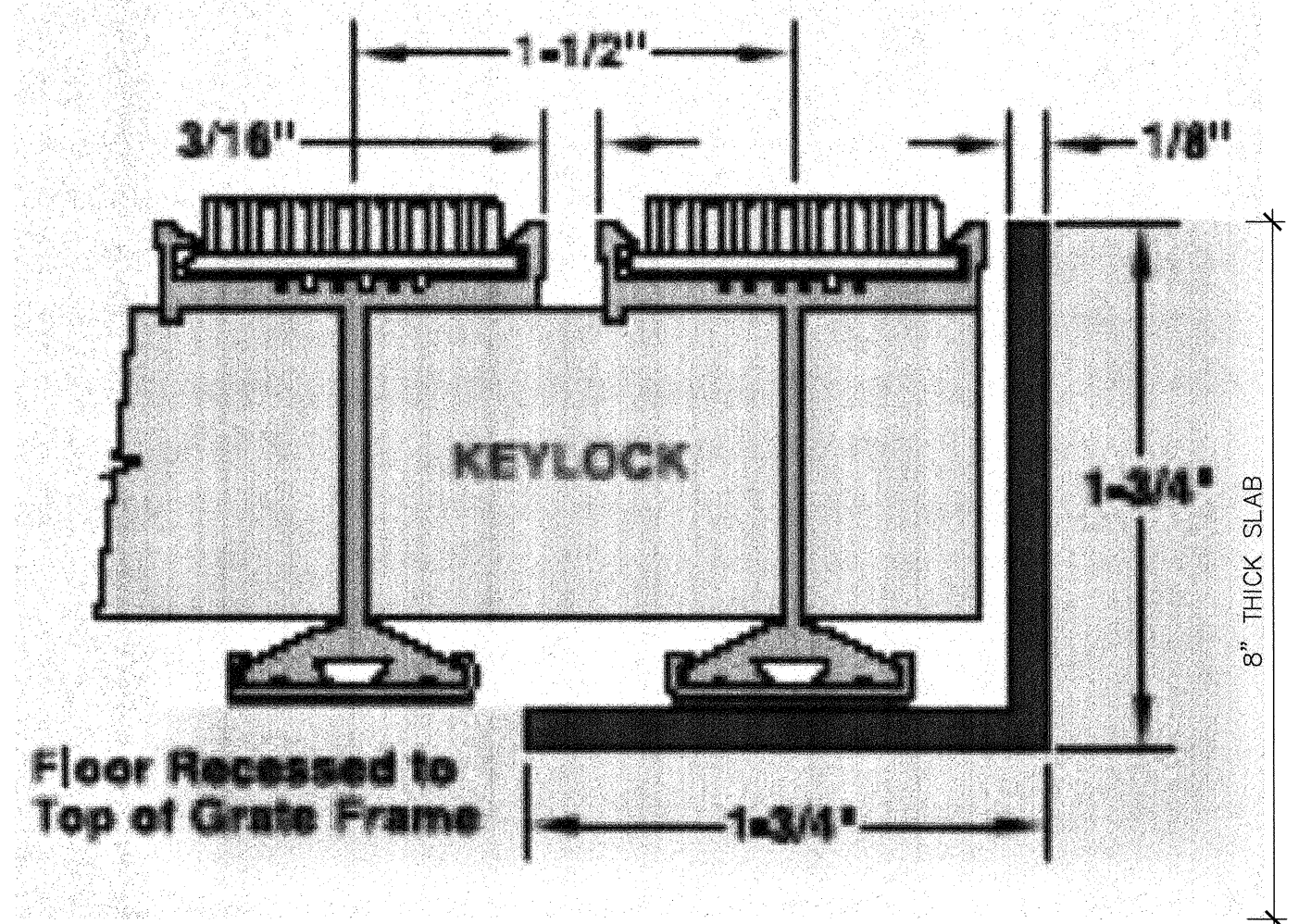
BUILDING C FLOOR PLAN
PHASE 1B

Date 3-9-10
 Scale NA
 Drawn RL
 Job APPROVED
 Sheet
A-13
 Of Sheets

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE 2006 INTERNATIONAL BUILDING CODE, 2007 CALIFORNIA BUILDING CODE, 2007 CALIFORNIA ENERGY CODE, 2007 CALIFORNIA PLUMBING CODE, 2007 CALIFORNIA MECHANICAL CODE, 2007 CALIFORNIA ELECTRICAL CODE, 2007 CALIFORNIA MECHANICAL CODE, AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES AND STANDARDS.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS PRIOR TO BIDDING, AND FOR ANY UNIQUE CIRCUMSTANCES OR DISCREPANCIES THAT MAY EXIST.
- DIMENSIONS, UNLESS OTHERWISE SHOWN, ARE TO STUDLINE, ROUGH CONCRETE OR CONCRETE BLOCK SURFACE.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO THE FABRICATION OF ANY WORK. DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED. ANY ERRORS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, IMMEDIATELY. UNLESS REPORTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONAL INCONSISTENCIES AND PROBABLE REMEDIAL WORK.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED FOR.
- CURBS AND CURB CUTS TO BE PER CITY STANDARDS. INSPECT, REPAIR & REPLACE DAMAGED CURBS & CURB CUT PER CITY REQUIREMENTS.
- THE FINISHES FOR THIS PROJECT, INCLUDING BUT NOT LIMITED TO, FLOOR COVERINGS, PAINT, MOULDINGS, LIGHT FIXTURES ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEPARATE PERMIT SHALL BE OBTAINED FOR ELECTRICAL, HEATING, AND PLUMBING INSTALLATIONS. CONTRACTOR SHALL PROVIDE DESIGN/SCHEMATICS AND PAY REQUIRED PERMIT FEES.
- CONTRACTOR SHALL COORDINATE BETWEEN THE VARIOUS TRADES/SUBCONTRACTORS.
- WHENEVER REQUIRED, CONTRACTOR SHALL OBTAIN OWNER'S APPROVAL PRIOR TO INSTALLATION OF FIXTURES, HARDWARE, FINISHES, ETC.
- MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF/ RECYCLED BY THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN COMPLETE STRUCTURAL INTEGRITY AT ALL TIMES AND SHALL PROVIDE ADEQUATE PRECAUTION FOR SAFETY OF PUBLIC LIFE AND PROPERTY.
- INSTALL SMOKE DETECTORS AS REQUIRED PER CITY, COUNTY, SPARK ARRESTOR ON ALL FIREPLACES REQUIRED.
- IT SHALL BE ASSUMED THAT ALL SUBCONTRACTORS ARE EXPERIENCED AND THOROUGHLY KNOWLEDGEABLE IN THEIR RESPECTIVE AREAS OF THE CONSTRUCTION INDUSTRY AND SHALL PERFORM IN A RESPONSIBLE MANNER IN ESTABLISHED CONSTRUCTION SEQUENCE, RECOGNIZING THE PRIORITY OF THE CONSTRUCTION DOCUMENTS, DRAWINGS AND DETAILS AND SHALL INFORM THE PRIME CONTRACTOR OF POTENTIAL PROBLEMS WHEN DRAWINGS ARE UNCLEAR OR INCONSISTENT.
- SUBCONTRACTORS SHALL BE RESPONSIBLE TO NOTIFY THE PRIME CONTRACTOR OF DISCREPANCIES OR CONFLICTS ON THESE CONSTRUCTION DOCUMENTS FOUND DURING BIDDING AND/OR CONSTRUCTION PRIOR TO PERFORMING THE WORK. SUCH DISCREPANCIES SHALL BE RECEIVED EXPEDITIOUSLY AND NOTIFICATION GIVEN TO THE SUBCONTRACTOR EITHER VERBALLY OR IN WRITING AS APPLICABLE TO THE CONDITION.
- SUBCONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL UTILITY SERVICES AND COORDINATE AS REQUIRED BY EITHER RESPECTIVE AREA OF THE CONSTRUCTION INDUSTRY, NOTIFYING THE PRIME CONTRACTOR OF VARIATIONS OR CONFLICTS.
- IF NOT SPECIFICALLY DEFINED IN THESE CONSTRUCTION DOCUMENTS, MATERIALS AND/OR EQUIPMENT SHALL BE IDENTIFIED BY THE SUBCONTRACTOR TO THE PRIME CONTRACTOR WITHIN A REASONABLE TIME TO ALLOW SELECTION, PURCHASE AND DELIVERY, TO PREVENT DELAY OF THE JOB SCHEDULE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM HIS/HER WORK IN CONFORMANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LIFE SAFETY FEATURES AS REQUIRED BY LOCAL, STATE, OR FEDERAL AUTHORITIES. HE/SHE SHALL VERIFY WITH THE ARCHITECT, IF MODIFICATION OF HIS/HER WORK IS REQUIRED FOR COMPLIANCE.
- ALL MATERIALS AND/OR EQUIPMENT SHALL BE HANDLED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALL COLORS AND/OR COLOR SAMPLES SHALL BE SUBMITTED TO THE PRIME CONTRACTOR WHO WILL CONSULT WITH THE OWNER FOR APPROVAL, BEFORE APPLICATION.
- WHEN ACCESSIBLE ROUTES OF TRAVEL EXCEED 5% IN ELEVATION CHANGES, A RAMP SHALL BE PROVIDED COMPLYING WITH 2007 C.B.C. SECTION 1120.
- EXTERIOR STAIRS, IF ANY, AND APPROACHES SHALL BE SLIP RESISTANT PER THE 2007 C.B.C. SECTION 1120.
- PAVING TO BE SLOPED A MAXIMUM OF 2% UP TO ACCESSIBLE ENTRANCES TO DOOR THRESHOLD.
- FIRE-BLOCK CONCEALED SPACES C.B.C. 708.
- WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, HAVE A MAXIMUM OF 1/2" CHANGES IN ELEVATION AND ARE A MINIMUM OF 48 INCHES IN WIDTH PER 2007 C.B.C. SECTION 1120.
- ALL SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED IN WRITING BY PROJECT ARCHITECT/ ENGINEER BEFORE THE SUBMITTAL TO THE BUILDING DIVISION. (EX TIE-DOWN SYSTEM).

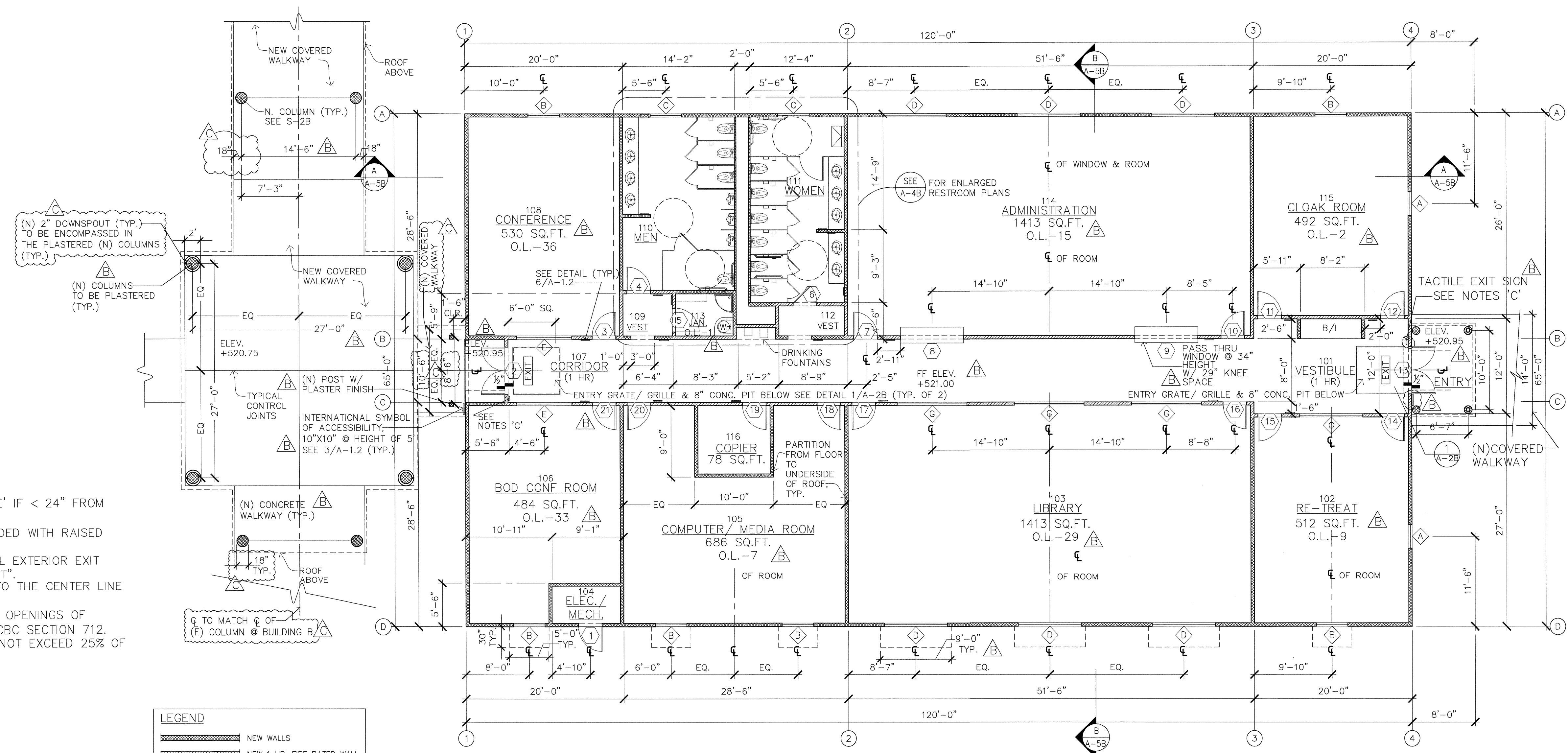
- NOTES :
- A. SAFETY GLAZING TO BE PROVIDED FOR WINDOWS MARKED 'E' IF < 24" FROM ENTRANCE DOORS.
 - B. PERMANENTLY SIGNED ROOMS AND SPACES MUST BE PROVIDED WITH RAISED LETTER AND BRAILLE IDENTIFICATION SIGNS. SEE 6/A-1.2
 - C. TACTILE EXIT SIGNS SHALL BE PROVIDED AT GRADE - LEVEL EXTERIOR EXIT DOORS, IDENTIFIED BY A TACTILE EXIT WITH THE WORD, "EXIT". MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN.
 - D. THROUGH PENETRATIONS AND MEMBRANE PENETRATIONS OF OPENINGS OF THE FIRE RATED WALLS AND CEILINGS MUST COMPLY WITH CBC SECTION 712.
 - E. THE TOTAL AREA OF WINDOWS IN 1 HR. CORRIDOR SHALL NOT EXCEED 25% OF THE AREA OF A COMMON WALL WITH ANY ROOM.



1 ENTRY GRATE & GRILLE
DETAIL SCALE: NTS

PLUMBING FIXTURE REQUIREMENTS AS PER CPC TABLE 4-1

TYPE OF BUILDING/ OCCUPANCY	OCCUPANT LOAD		WATER CLOSETS		URINALS	LAVATORIES		DRINKING FOUNTAINS
			MALE	FEMALE		MALE	FEMALE	
BUILDING C - OFFICE/ B OCCUPANCY AREA = 7,760 SQ.FT.	7,760/200 = 39 MALE = 20 FEMALE = 20	REQUIRED	1	3	1	1	1	1
		PROVIDED	4	7	3	4	5	2

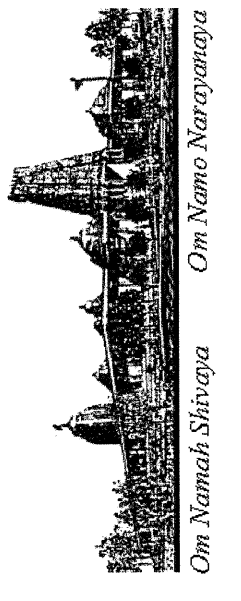


LEGEND

[Hatched Box]	NEW WALLS
[Hatched Box]	NEW 1 HR. FIRE RATED WALL
[Circle with #]	NEW DOOR NUMBER SEE SHEET A-4
[Circle with V]	NEW WINDOW NUMBER SEE SHEET A-4

BUILDING C - FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	BY
A	05-24-10 HCCC
B	08-06-10 BPC
	10-07-10 BD
C	10-12-10 BPC



BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
1200 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-B
BUILDING C FLOOR PLAN

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

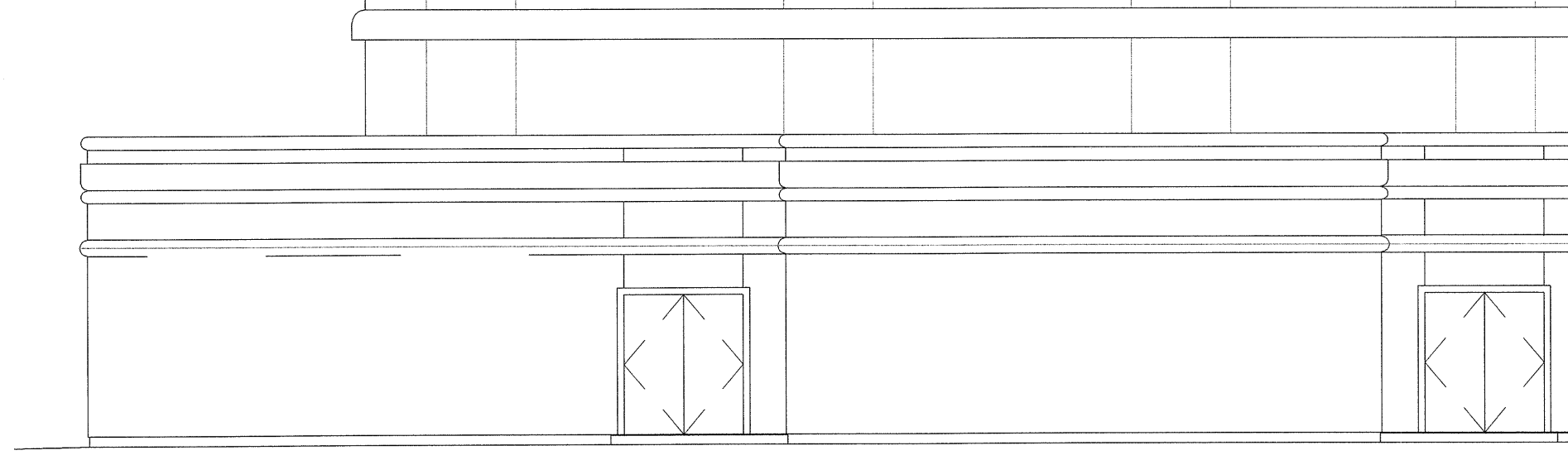
A-2B



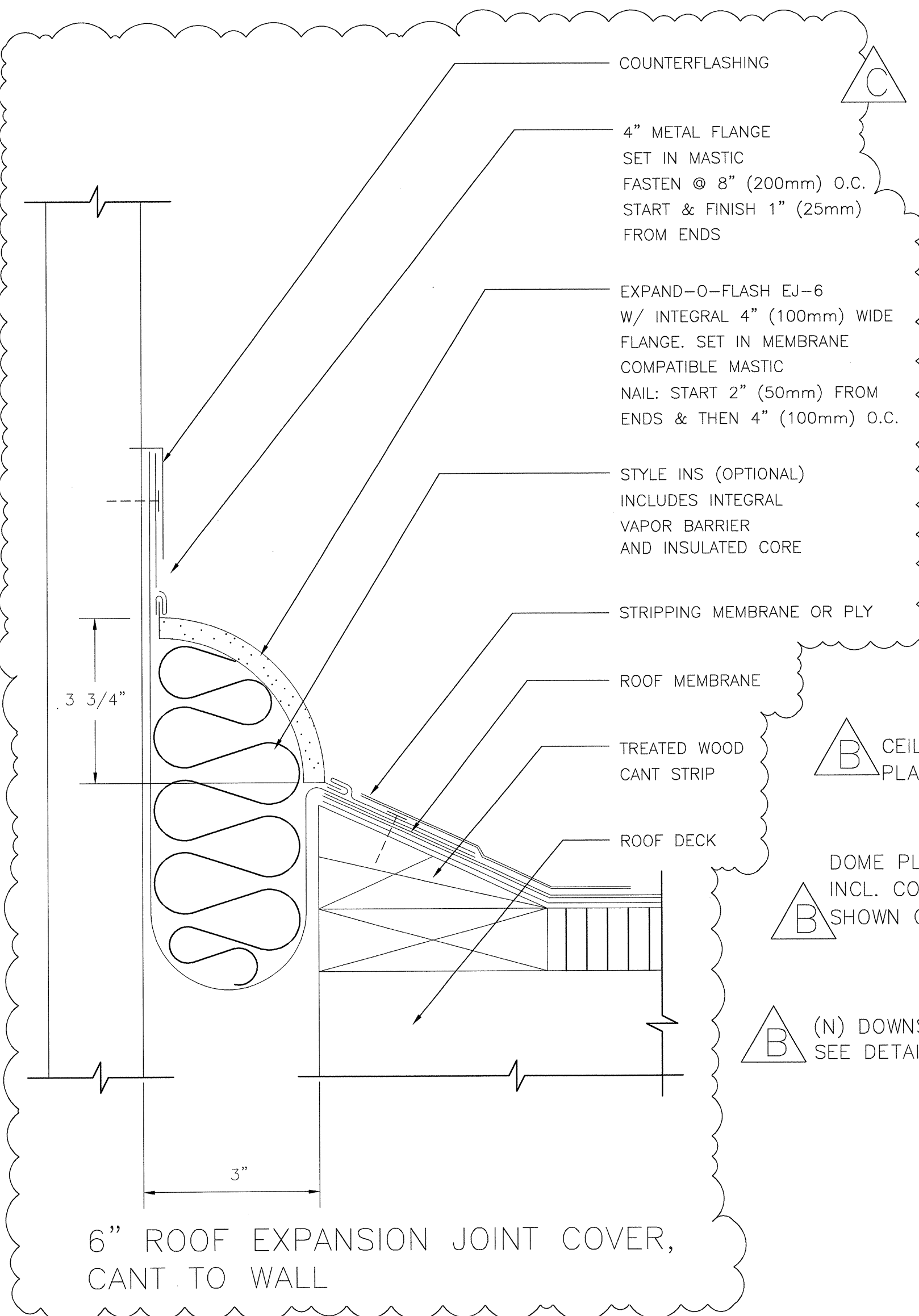
BUILDING C
EAST ELEVATION

BUILDING C
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

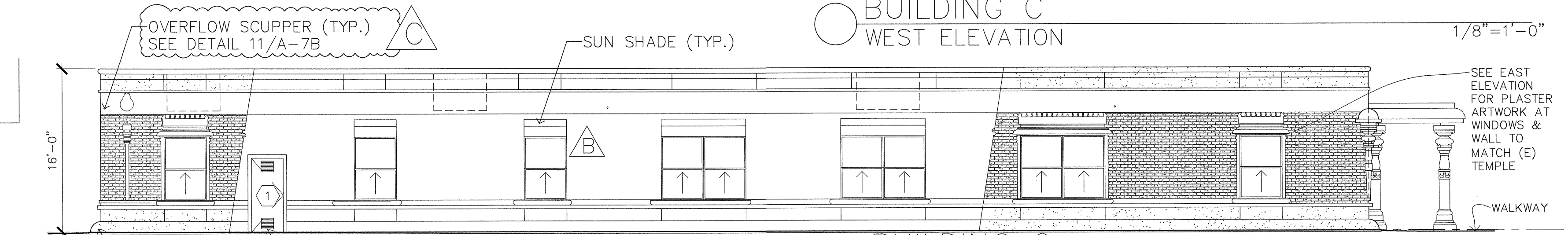


BUILDING B - FOR REFERENCE ONLY
WEST ELEVATION

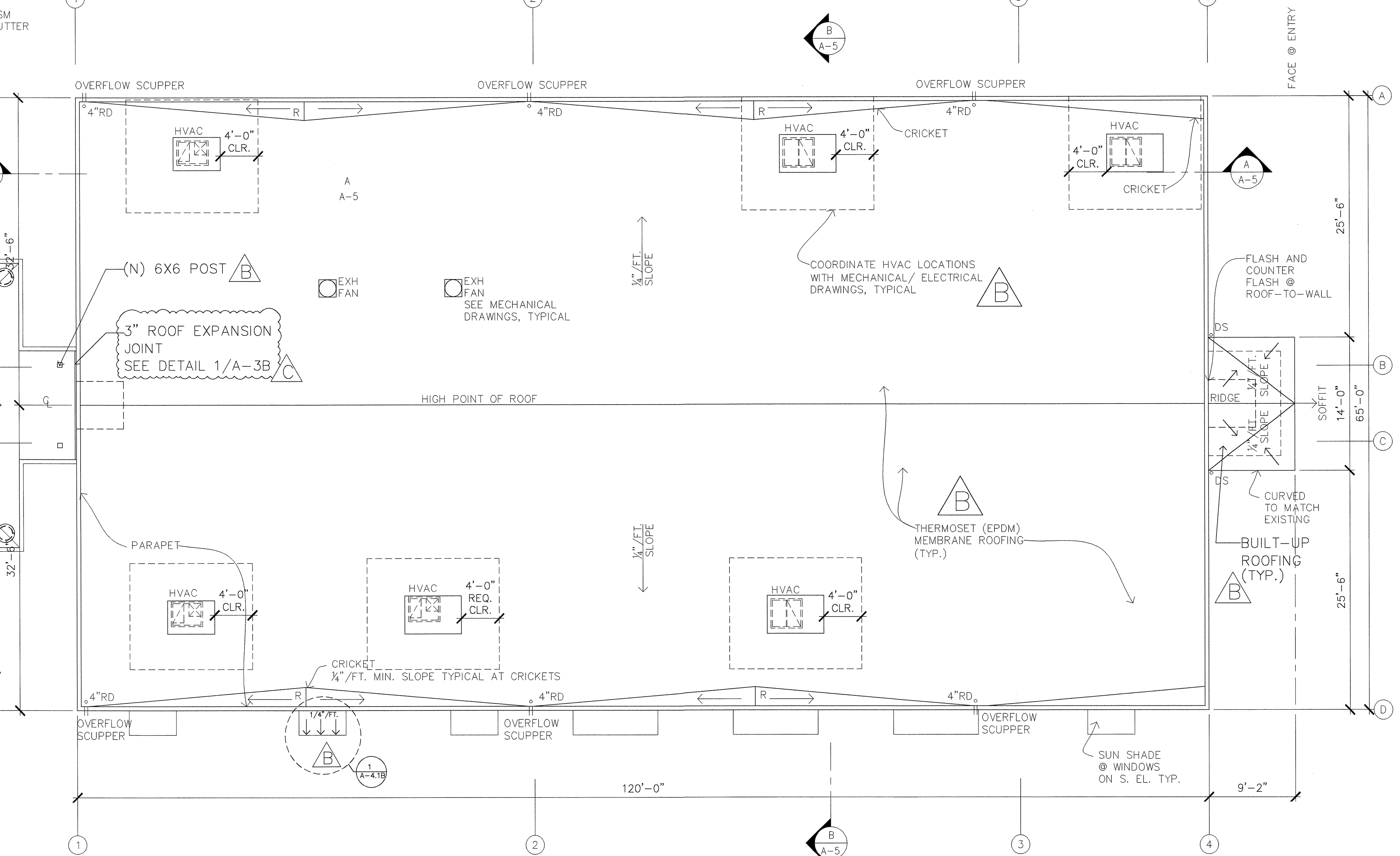


1 ROOF EXPANSION JOINT
DETAIL

- NOTES:
1. ALL COLUMNS TO BE PLASTERED.
 2. WALLS TO MATCH TEMPLE WALLS.
 3. ALL PLASTERWORK TO MATCH BUILDING 'B'.
 4. 7/8" CEMENT PLASTER, FLOAT FINISH, OVER SELF FURRING LATH AND 2 LAYERS OF GRADE "D" PAPER. INSTALL PER UBC SECTIONS 2056 & 2058.
 5. EXTERIOR ELEVATIONS SHALL BE DONE AS APPROVED BY CUP 09-001, PRIOR TO FINAL INSPECTION AND AS PART OF THIS BUILDING PERMIT.



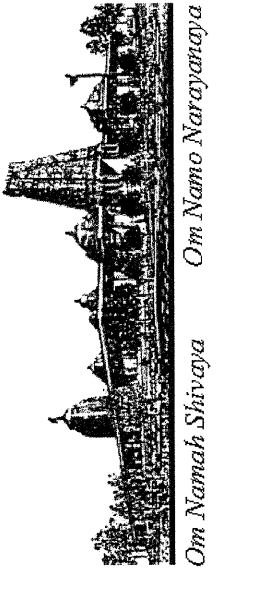
BUILDING C
WEST ELEVATION



BUILDING C - ROOF PLAN

SCALE: 1/8" = 1'-0"

REVISIONS	BY
A 05-24-10	HCCC
B 08-06-10	BPC
10-07-10	BD
A 10-12-10	BPC



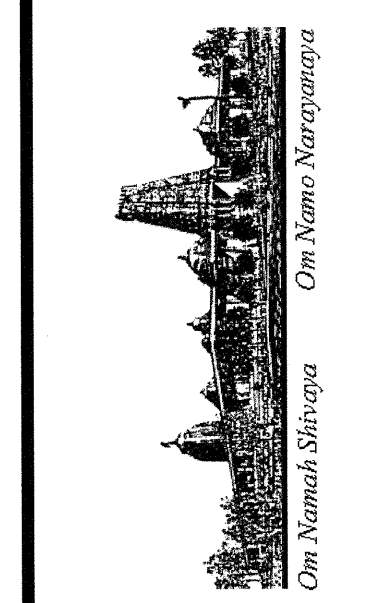
BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
1200 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-B
BUILDING C & COVERED WALKWAY
ROOF PLANS AND ELEVATIONS

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

A-3B

REVISIONS	BY
A	05-24-10 HCCC
B	08-06-10 BPC
	10-07-10 BD
C	10-12-10 BPC

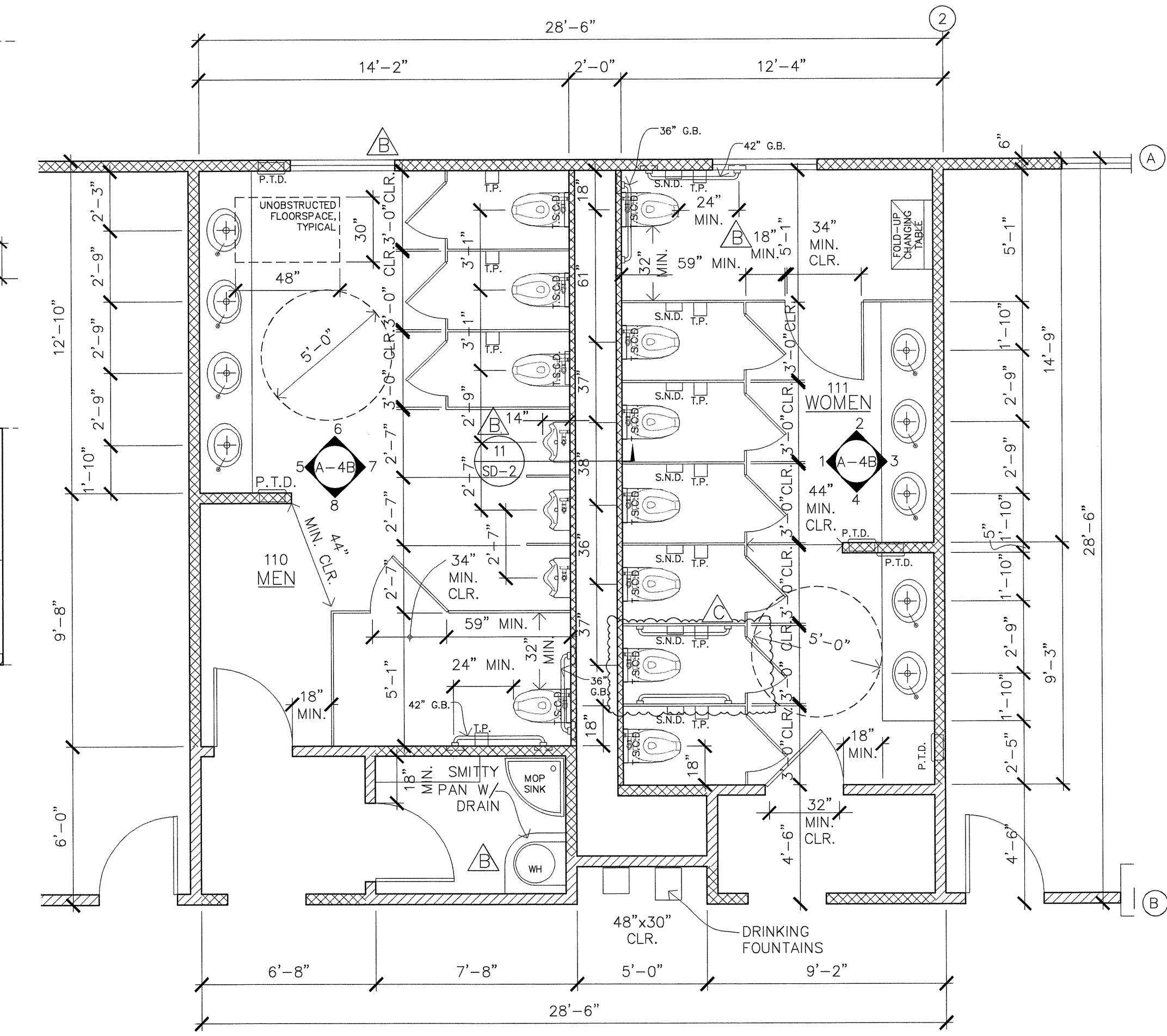


BUILDING "C"
HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE. LIVERMORE, CA 94551

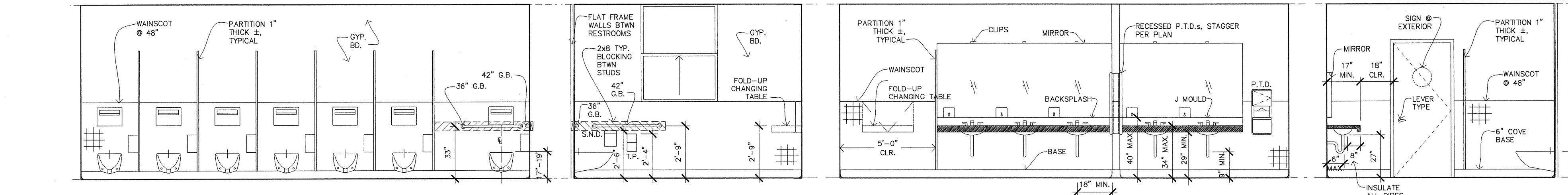
PHASE 1-B
 MEN'S RESTROOM ELEVATIONS
 WOMEN'S RESTROOM ELEVATIONS
 ENLARGED RESTROOM FLOOR
 PLANS & ELEVATIONS
 & REFLECTED CEILING PLAN

DATE: 03/12/10
 SCALE: 1/8"=1'-0"
 DRAWN BY: RL
 PROJECT: ARROWHEAD

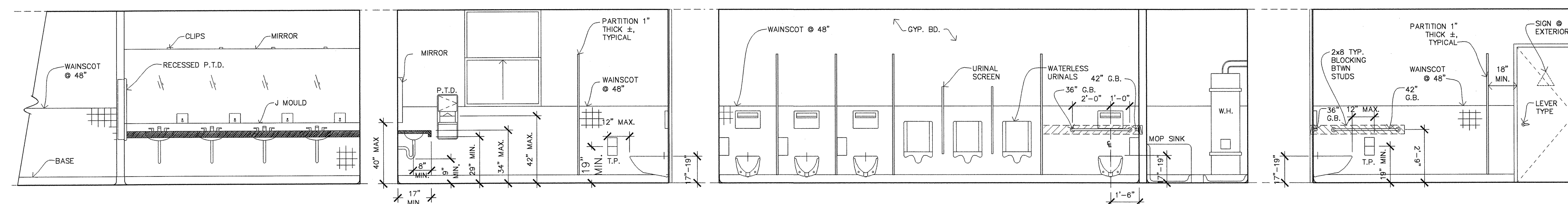
A-4B



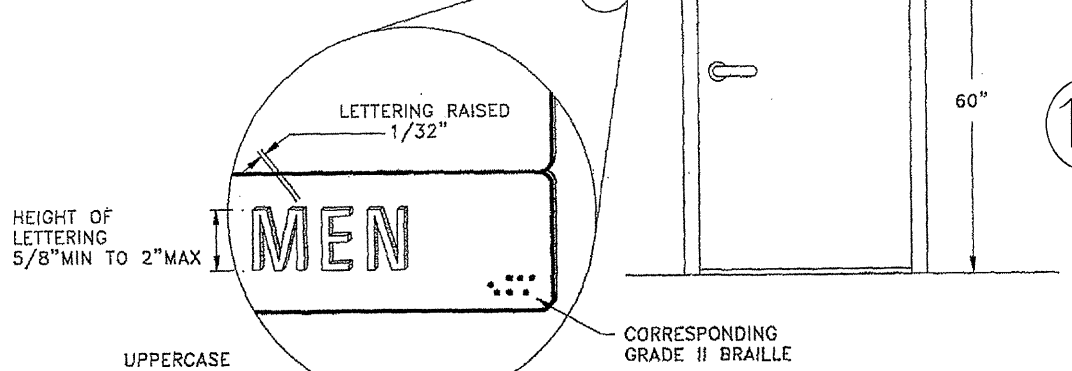
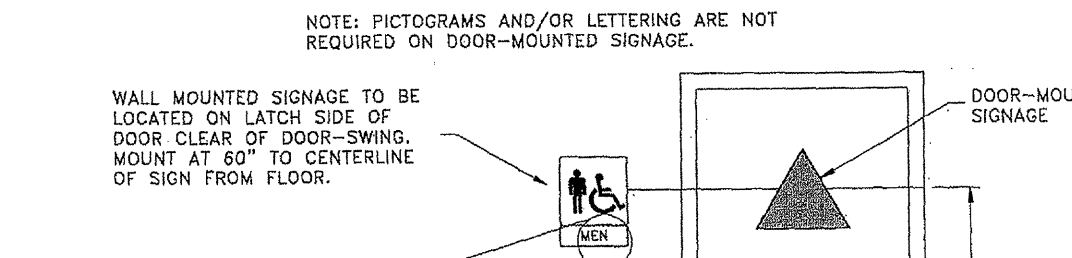
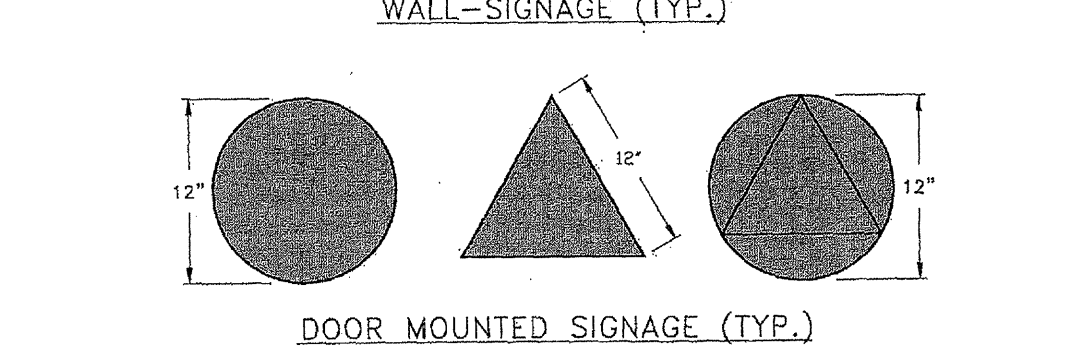
ENLARGED FLOOR PLAN
 MEN'S & WOMEN'S RESTROOMS
 SCALE: 1/4"=1'-0"
 ACCESSIBLE STALL DETAILS SEE 9,10,11 & 12/A-1.2 (TYP.)



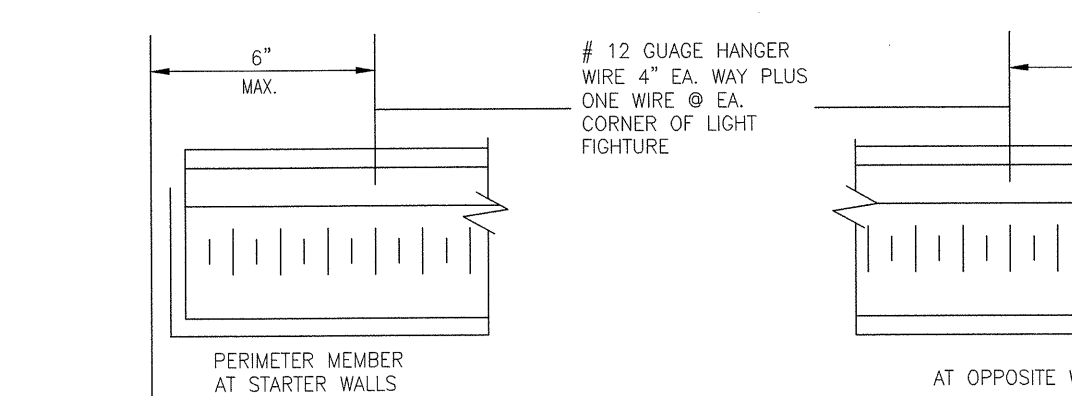
1 WOMEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"
2 WOMEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"
3 WOMEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"
4 WOMEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"



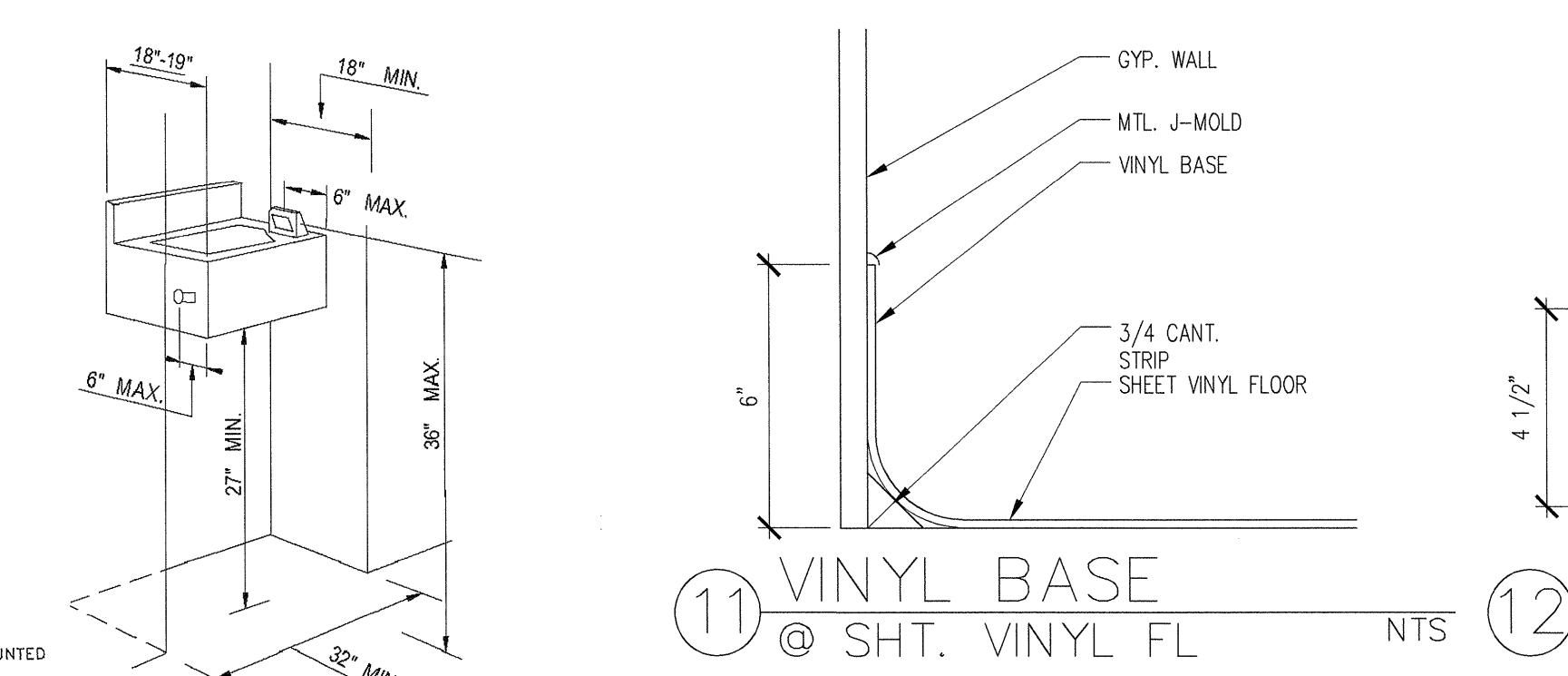
5 MEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"
6 MEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"
7 MEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"
8 MEN'S ROOM ELEVATION SCALE: 1/4"=1'-0"



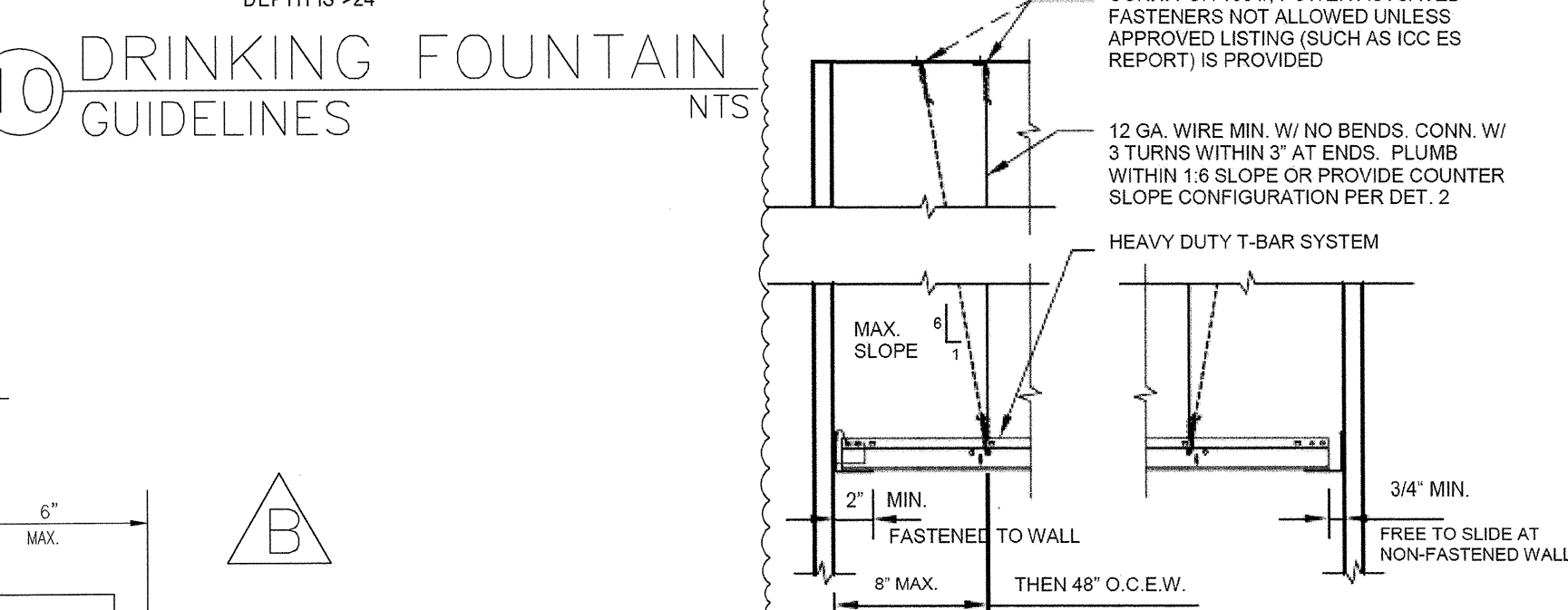
9 IDENTIFICATION SYMBOLS FOR SANITARY FACILITIES NTS



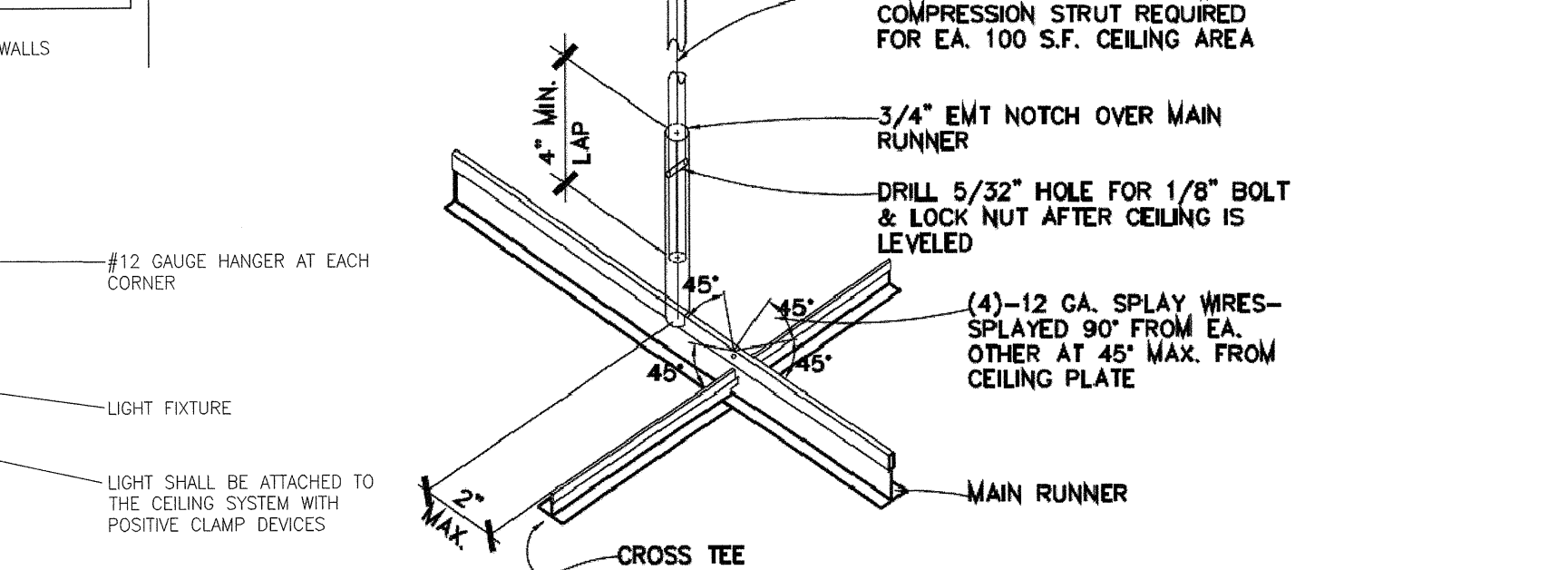
13 TYP. LIGHT FIXTURE MOUNTING DETAIL AT WALL SCALE: NTS



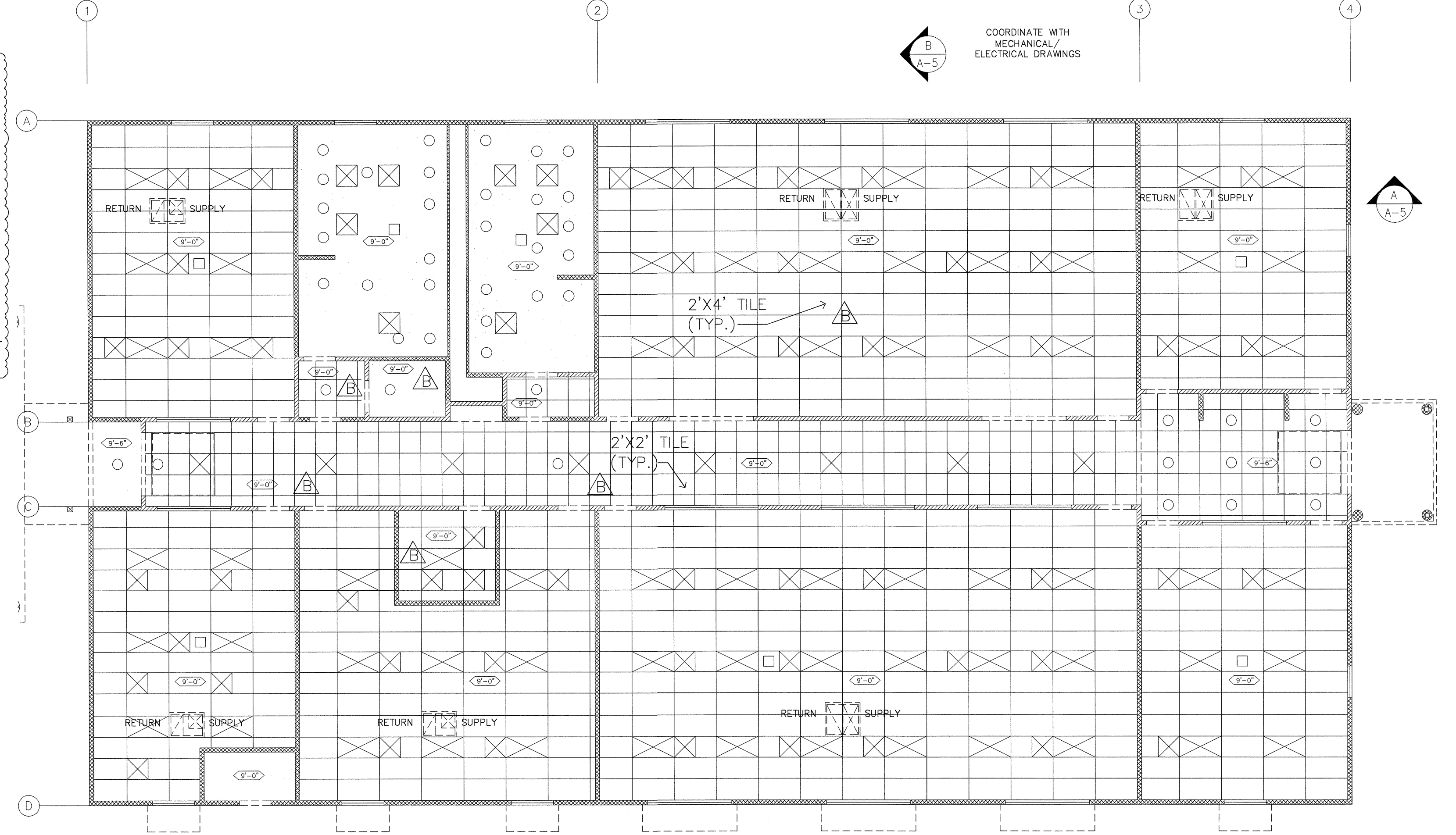
11 VINYL BASE @ SHT. VINYL FL NTS
12 WOOD BASE AT CARPET OR TILE NTS



10 DRINKING FOUNTAIN GUIDELINES NTS



14 CEILING BRACING DETAIL SCALE: NTS



BUILDING C (REFER TO SHEET E-13B FOR LIGHTING PLAN FOR THE (N) COVERED WALKWAY)
REFLECTED CEILING PLAN SCALE: 1/8"=1'-0"

NOTES:
 1. GRID MUST BE ATTACHED TO TWO ADJACENT WALLS & OPPOSITE WALLS MUST HAVE A 3" CLEARANCE.
 2. ENDS OF MAIN BEAMS AND CROSS TEES MUST BE TIED TOGETHER TO PREVENT THEIR SPREADING.
 3. MUST USE HEAVY DUTY SYSTEM WITH PERIMETER SUPPORT WIRES AND LATERAL BRACING.
 4. SEE DETAIL A-4B/14, NOTE #7 FOR ANCHOR BOLT INFORMATION.
 5. ALL RECESSED LIGHTING FIXTURES IN THE T-BAR CEILING MUST BE OF IC TYPE (INSULATION COVER) IF INSULATION IS PLACED ON THE CEILING FOR SOUND REASONS. (INSULATION FOR ENERGY REQUIREMENTS MUST BE AT THE ROOF OR FLOOR ABOVE).
 6. PROVIDE SUPPORT OF THE LIGHTING FIXTURES IN ACCORDANCE WITH THE MANUFACTURER.

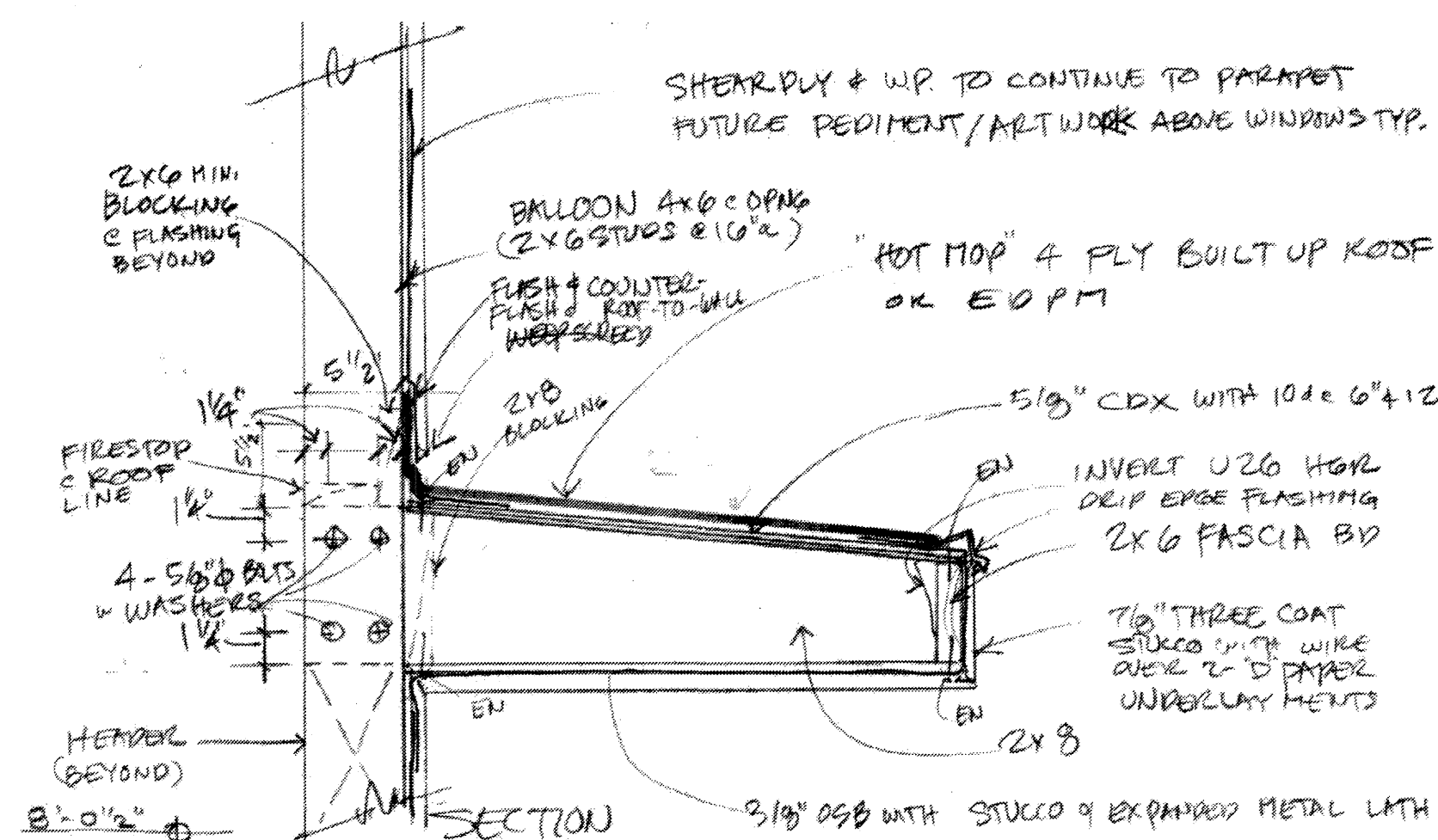
NOTES:
 1. ALL 24"X48" CEILING LIGHT FIXTURES & 24"X24" HVAC AIR REGISTERS SHALL BE SUPPORTED BY A MINIMUM OF (2) HANGERS @ OPPOSITE CORNERS. CEILING SYSTEM SHALL NOT SUPPORT OTHER ITEMS.
 2. ALL INTERIOR WALL @ CEILING FINISHES SHALL BE INSTALLED TO CLASS II FLAME SPREAD.
 3. ALL DEGREE BRACE WIRES & COMPRESSION STRUT ARE TO BE PROVIDED.
 4. ALL SUSPENDED ACOUSTICAL CEILING TO COMPLY WITH 2007 IBC CODE SECTION 803.9.1.1 IN ACCORDANCE WITH ASTM C 635 & ASTM C 636.
 5. INSTALLATIONS MUST CONFORM TO CISCA RECOMMENDATIONS FOR AREAS IN SEISMIC ZONE 3-4.
 6. COMPRESSION POST CONNECTION TO UPPER MOST STRUCTURAL MEMBER PER MANUFACTURERS REQUIREMENTS.
 7. ATTACH HANGER WIRES TO STRUCTURAL MEMBERS ABOVE W/ SIMPSON SDS #133" MIN. WOOD SCREWS.
 8. LATERAL DISPLACEMENT OF 1" IN ALL HORIZONTAL DIRECTIONS MUST BE PROVIDED FOR ALL THE PENETRATIONS (ASCE 7-05, SECTION 13.5.6.2.2).
 9. CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE SUPPORTED INDEPENDENTLY OF THE CEILING.

DOORS AND FRAMES

Hollow metal doors and frames shall be in accordance with Steel Door Institute (SDI) standard specifications.
 Interior doors shall be SDI Level 2 (Heavy Duty), Model 1 (Full Flush). Exterior doors shall be Level 3 (Extra Heavy Duty) Model 1.
 Interior door frames shall be SDI Level 2 (16 gage, Heavy Duty) and Exterior door frames shall be SDI Level 3 (14 gage, Extra Heavy Duty)
 Fire rated door shall have UL Label with required rating.

NOTES:

- All windows shall come complete with screens.
 - Field verify all door and window sizes and requirements prior to ordering and after all openings have been framed.
 - Hollow metal doors and frames to be painted w/ semi gloss enamel.
 - Wood doors - "Simpson" #4060 1 1/2" X 3'-0" X 6'-8" VGDF. stain as selected with clear varathain finish.
- Each exterior door shall be secured as follows:
- Exterior doors shall be hollow metal no less than 1 1/2" thickness.
 - Exterior doors shall have a self-locking lock with dead latch, and a deadbolt lock with one inch throw.
 - The locking device on main entrance doors shall be so constructed that both deadbolt and dead latch can be retracted by a single action of the inside door knob.
 - The dead latch lock and deadbolt lock shall be keyed alike (one key will fit both locks).
 - Pairs of doors shall have flush bolts with a minimum throw of 5/8 inch at the head and foot (floor and ceiling) of the inactive leaf.
 - Door stop on a wooden jamb for an inswing door shall be of one piece construction with the jamb joined by a rabbet.
 - Non-removable pin or interlocking stud-type hinge shall be used in pin-type hinge which is accessible from the outside when the door is closed.
 - Cylinders shall be so designed by manufacturer or protected that they cannot be gripped by pliers or other wrenching devices.
 - The lock or locks shall be operated from the inside of the door by a device not requiring a key.
 - The required force to open the doors will not exceed 5 pounds for exterior and interior doors and 15 pounds for fire rated doors.
 - The bottom 10" of doors in the accessible path of travel shall have a smooth, uninterrupted surface.
 - All doors to be equipped with single effort, non-grasp hardware (i.e. LEVER TYPE, PANIC BARS, PUSH-PULL ACTIVATING BARS) centered between 30" and 44" above the floor.



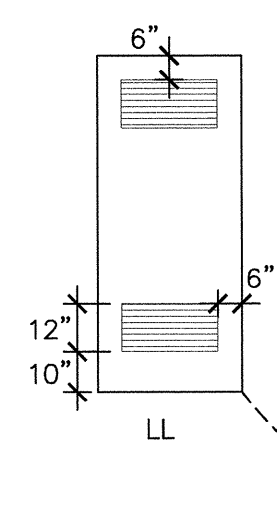
1- SUN SHADE DETAIL

N.T.S.

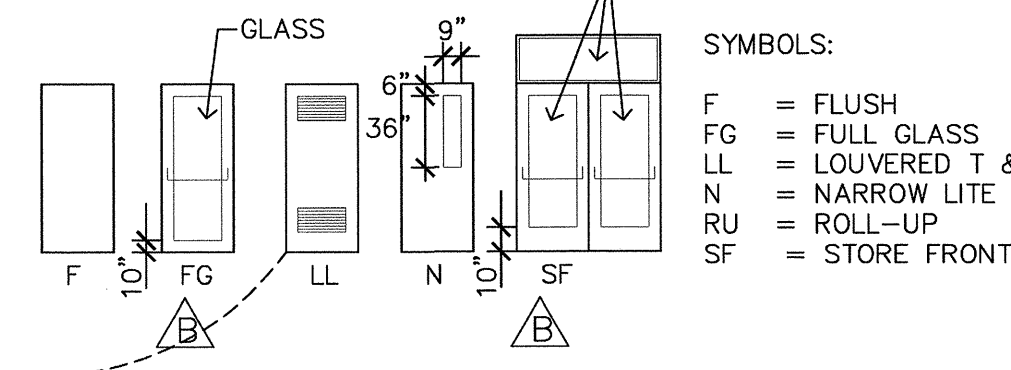
NOTE: AWNING WILL BE PAINTED TO MATCH THE BUILDING.

WINDOW SCHEDULE*										*NOTE: FIELD VERIFY ALL WINDOW DIMENSIONS PRIOR TO ORDERING.	
ITEMS SUPPLIED & INSTALLED BY CONTRACTOR ARE INDICATED WITH A "✓"										ITEMS SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR ARE INDICATED WITH A "X"	
ITEMS NOT IN CONTRACT ARE INDICATED WITH "N.I.C."											
QTY.	SIZE (W X H)	GLASS THICKNESS	OP.	WINDOW TYPE	DETAIL	FIRE RATING	REQUIREMENTS	TEMPERED			
2	3'-0" x 5'-0"	3/4"	SINGLE HUNG	DUAL PANE	3/ A-5		PPG SOLARBAN 60.	✓			
6	4'-0" x 6'-0"	3/4"	SINGLE HUNG	DUAL PANE	3/ A-5		PPG SOLARBAN 60.	✓			
2	4'-0" x 5'-0"	3/4"	SINGLE HUNG	DUAL PANE	3/ A-5		PPG SOLARBAN 60. OBSCURE GLASS	✓			
6	8'-0" x 6'-0"	3/4"	SINGLE HUNG	DUAL PANE	3/ A-5		PPG SOLARBAN 60.	✓			
2	7'-0" x 4'-0"	1/4"	FIXED	SINGLE PANE	9/ A-5	20 MIN.	WIRE GLASS (SAFETY GLAZING)	✓			
1	10'-0" x 4'-0"	1/4"	FIXED	SINGLE PANE	9/ A-5	20 MIN.	WIRE GLASS	✓			
4	8'-0" x 4'-0"	1/4"	FIXED	SINGLE PANE	9/ A-5	20 MIN.	WIRE GLASS	✓			

DOOR SCHEDULE*										*NOTE: FIELD VERIFY ALL DOOR DIMENSIONS PRIOR TO ORDERING.	
ITEMS SUPPLIED & INSTALLED BY CONTRACTOR ARE INDICATED WITH A "✓"										ITEMS SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR ARE INDICATED WITH A "X"	
ITEMS NOT IN CONTRACT ARE INDICATED WITH "N.I.C."											
QTY.	SIZE (W X H)	TYPE	ROOM #	MATERIAL	CONSTRUCTION THICKNESS	FRAME	HWDR GROUP	DETAIL	FIRE RATING	COMMENTS	WEATHER-STRIP
1	3'-0" x 7'-0"	LL	104	STEEL	1 3/4"	STEEL	3	4/ A-5 8/ A-5		WITH HIGH AND LOW VENTS	
2	6'-0" x 9'-0"	SF	107	ALUMINUM	1 3/4"	METAL	1			PANIC HARDWARE W/ TRANSOM	✓
3	3'-0" x 7'-0"	N	108	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
4	3'-0" x 7'-0"	F	110	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
5	3'-0" x 7'-0"	F	113	WOOD	1 3/4"	METAL	2	1/ A-5	20 MIN.	WATER HEATER. PROVIDE FOR COMBUSTION AIR TOP & BOTTOM	
6	3'-0" x 7'-0"	F	111	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
7	3'-0" x 7'-0"	N	114	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
8	8'-0" x 4'-0"	RU	114	WOOD	3/8"	METAL	MFR.	2/ A-5	20 MIN.	FIREFLY FIRE ACTIVATED	
9	8'-0" x 4'-0"	RU	114	WOOD	3/8"	METAL	MFR.	2/ A-5	20 MIN.	FIREFLY FIRE ACTIVATED	
10	3'-0" x 7'-0"	N	114	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
11	3'-0" x 7'-0"	N	115	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
12	3'-0" x 7'-0"	N	115	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
13	6'-0" x 9'-0"	SF	101	ALUMINUM	1 3/4"	METAL	1			PANIC HARDWARE W/ TRANSOM	✓
14	3'-0" x 7'-0"	N	102	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
15	3'-0" x 7'-0"	N	102	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
16	3'-0" x 7'-0"	N	103	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
17	3'-0" x 7'-0"	N	103	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
18	3'-0" x 7'-0"	N	105	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
19	3'-0" x 7'-0"	N	116	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
20	3'-0" x 7'-0"	N	105	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	
21	3'-0" x 7'-0"	N	106	WOOD	1 3/4"	METAL	1	1/ A-5	20 MIN.	SELF-CLOSING	



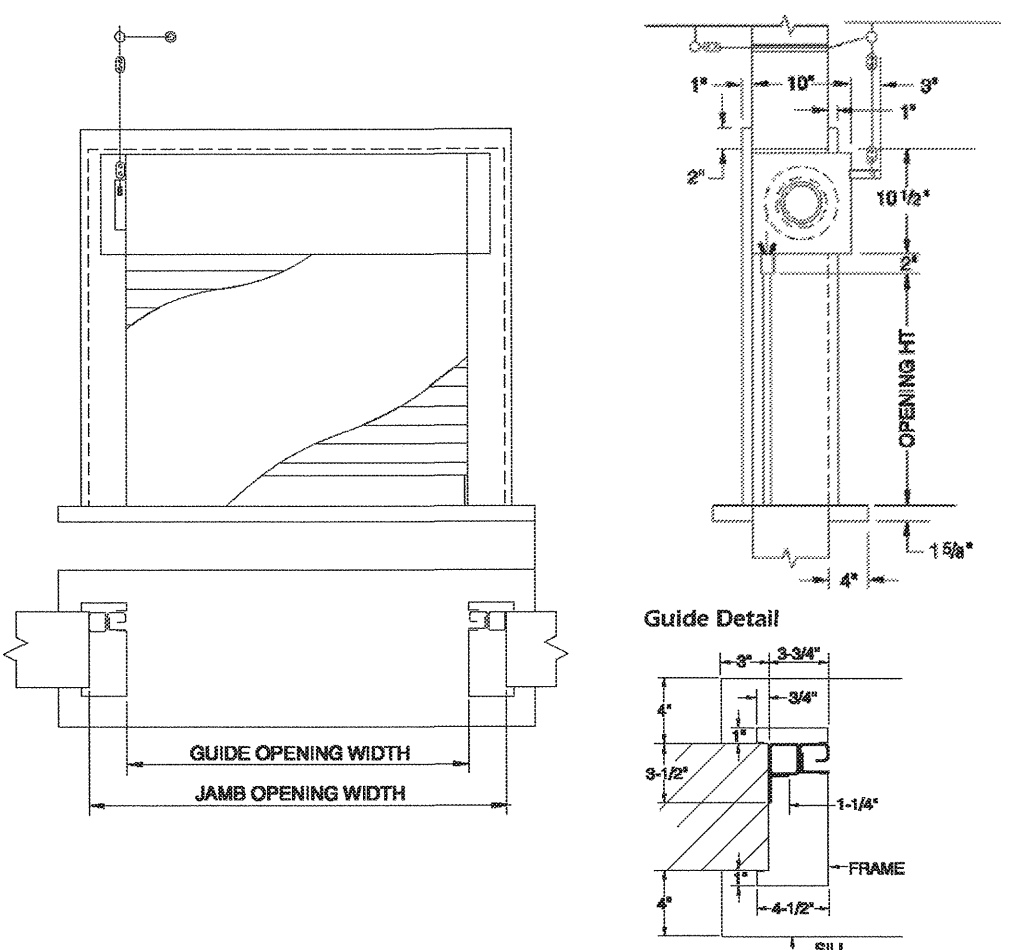
DOOR TYPES



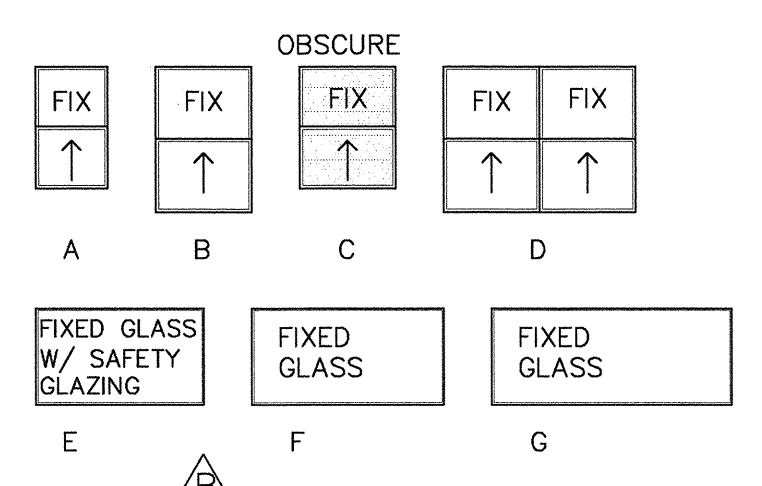
HARDWARE GROUPS

GROUP 1	HINGES	3	GROUP 2	HINGES	3
	LOCKSET	ANSI F88		LOCKSET	1 ANSI F84
	CLOSER	1		ACOUSTIC SEAL	1 SET
	SMOKE SEAL	1 SET			
GROUP 3	HINGES	3			
	LOCKSET	ANSI F91			

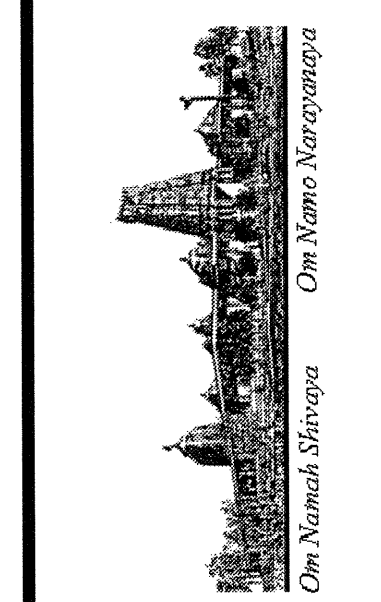
LOCKSETS SHALL BE KEYED IN ACCORDANCE WITH HCCC



WINDOWS



REVISIONS	BY
A 05-24-10	HCCC
B 08-06-10	BPC
10-07-10	BD
C 10-12-10	BPC



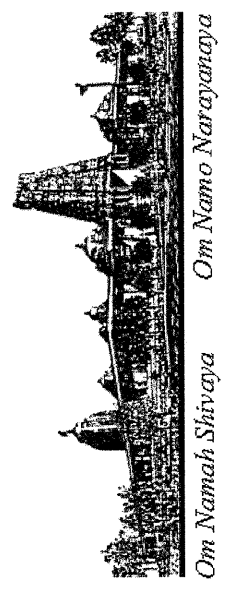
BUILDING "C"
 HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE. LIVERMORE, CA 94551

PHASE 1-B
 DOOR & WINDOW SCHEDULES
 & SPECIFICATIONS

DATE: 03/12/10
 SCALE:
 DRAWN BY: RL
 PROJECT: ARROWHEAD

A-4.1B

REVISIONS	BY
05-24-10	HCCC
08-06-10	BPC
10-07-10	BD
10-12-10	BPC

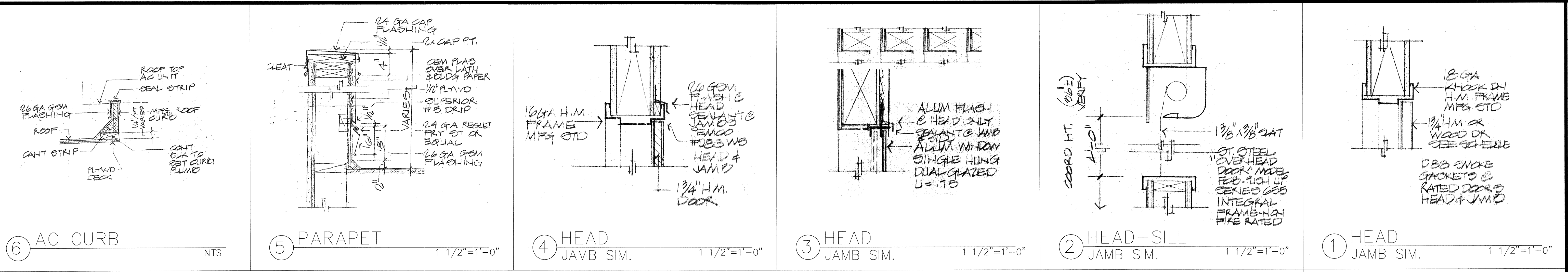


BUILDING "C"
 HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE., LIVERMORE, CA 94551

BUILDING C
 BUILDING SECTIONS & DETAILS
 PHASE 1-B

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

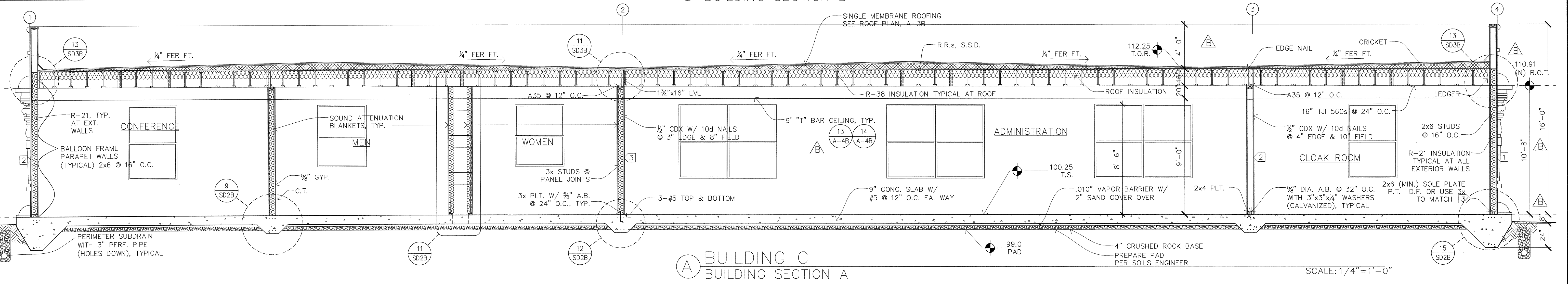
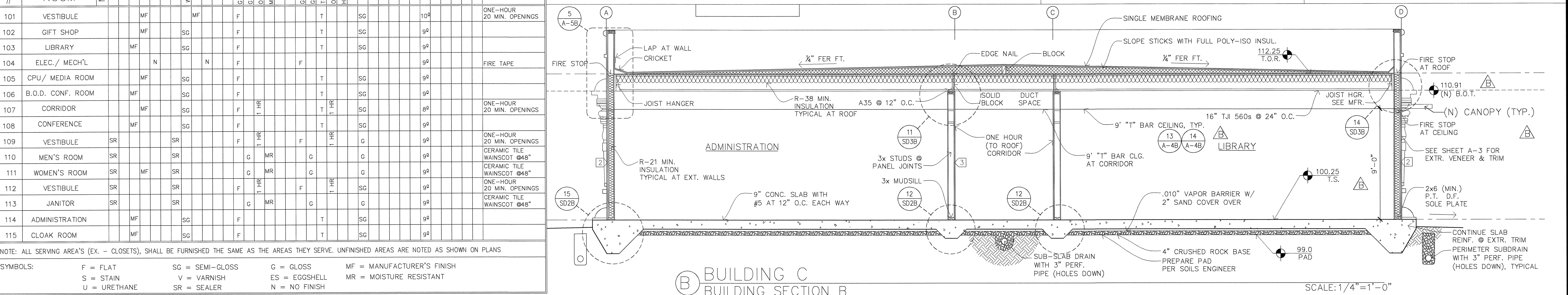
A-5B



INTERIOR FINISH SCHEDULE																					
#	ROOM	FLOOR			BASE			WALL			CEILING			TRIM		OTHER		COMMENTS			
		MATERIAL	TILE	WOOD	CARPET	VINYL COMP. TILE	CONCRETE	TILE	WOOD	VINYL COVE	NONE	SYN. BOARD, TEXTURED	SYN. BOARD, SMOOTH	ONE-HOUR	MOISTURE RESIST. GYP.	SYN. BOARD, TEXTURED	SYN. BOARD, SMOOTH		ONE-HOUR	HEIGHT	WOOD
101	VESTIBULE			MF																	ONE-HOUR 20 MIN. OPENINGS
102	GIFT SHOP			MF																	
103	LIBRARY			MF																	
104	ELEC./ MECH'L			N																	FIRE TAPE
105	CPU/ MEDIA ROOM			MF																	
106	B.O.D. CONF. ROOM			MF																	
107	CORRIDOR			MF																	ONE-HOUR 20 MIN. OPENINGS
108	CONFERENCE			MF																	
109	VESTIBULE	SR																			ONE-HOUR 20 MIN. OPENINGS
110	MEN'S ROOM	SR																			CERAMIC TILE WAINSCOT @48"
111	WOMEN'S ROOM	SR																			CERAMIC TILE WAINSCOT @48"
112	VESTIBULE	SR																			ONE-HOUR 20 MIN. OPENINGS
113	JANITOR	SR																			CERAMIC TILE WAINSCOT @48"
114	ADMINISTRATION	MF																			
115	CLOAK ROOM	MF																			

NOTE: ALL SERVING AREA'S (EX. - CLOSETS), SHALL BE FURNISHED THE SAME AS THE AREAS THEY SERVE. UNFINISHED AREAS ARE NOTED AS SHOWN ON PLANS

SYMBOLS:
 F = FLAT
 S = STAIN
 U = URETHANE
 SG = SEMI-GLOSS
 V = VARNISH
 SR = SEALER
 G = GLOSS
 ES = EGGSHELL
 N = NO FINISH
 MF = MANUFACTURER'S FINISH
 MR = MOISTURE RESISTANT



TECHNICAL SPECIFICATION

THIS TECHNICAL SPECIFICATION SUPPLEMENTS NOTES ON DRAWINGS AND INDIVIDUAL SPECIFICATIONS.

1.01 GENERAL CONDITIONS

The Contractor shall comply with the obvious intent and meaning of these plans and specifications, which shall be construed to include all material, measures and modes of work necessary to complete the work herein described in a workman like manner, in strict accordance with these plans and specifications and to the satisfaction of the Owner. Building shall be 100% watertight.

1.02 ORDINANCES AND SUBCONTRACTORS

The Contractor shall procure and pay for all civil inspections, permits and certificates of inspection as required. It shall be the Contractor's responsibility to see that all subcontracted work includes everything the plans and specifications call for in the subcontracted scope of work.

1.03 INSURANCE

Fire Insurance: Owner shall, at his expense, have the entire work (less ground and foundations) insured from loss by fire with a policy made out to the Owner and Contractor as their interest may appear.

1.04 EXAMINATION OF THE SITE

Contractor shall visit the building site and become familiar with existing conditions before submitting estimates.

1.05 DRAWINGS AND SPECIFICATIONS

a. The drawings, which are a part of these specifications, show the necessary grading for the general construction for the building.

1.06 INTERPRETATION OF PLANS

Neither the Contractor nor his workers, nor any subcontractor or supplier, shall make any assumptions as to the intent or meaning of these plans and specifications.

1.07 ALLOWANCES

Allowances provided in this contract are to be used only for material cost in the fixture and hardware categories.

1.08 CHANGE ORDERS

Amounts of extras of credits for changed items shall be agreed upon by the Owner and the Contractor and written authorization shall be issued to the Contractor before proceeding with the work.

1.09 CLEANING

a. This Contractor shall remove all debris from the building site and in general keep the work as clear of rubbish as possible and upon completion, all shall be left "broom clean".

1.10 TEMPORARY SERVICES

a. Water: The General Contractor shall pay for all water used in the construction of the building.

1.11 LITIGATION

See contract agreement between Owner and Contractor

1.12 LIENS

See contract agreement between Owner and Contractor

1.13 INSPECTOR

See drawings for required inspections.

1.14 FEES

Unless specifically excluded on the drawings, the Contractor shall pay for all permits and connection fees to local utilities companies and districts for connections of utilities and include all utilities fees, assessments, costs whatsoever in contract.

DIVISION 2 SITE WORK (see full specifications in site development drawings)

2A.01 DEMOLITION

See drawings for demolition.

2A.02 INSTALLATION

Install new curb and gutter and driveway work, where shown on drawings, in full accordance with City of Livermore standards and requirements.

2A.03 PERMITS

Obtain and pay for encroachment of other permits required for this work, and all related inspections.

2B.01 ON SITE IMPROVEMENTS

Cooperation with other trades. Prior to demolition, coordinate schedule with paving, electrical and irrigation subcontractors to allow their removal of materials to be relocated.

2B.02 DEMOLITION

See drawings for site demolition.

2B.03 CLEARING AND GRUBBING

See drawings for site clearing and grubbing.

2B.04 TRENCHING AND BACKFILL

See drawings for trenching and backfill.

2B.05 DUST CONTROL

During all stages of excavation and grading, provide labor and equipment minimize drifting or blowing dust. Use dust control measures such as water spraying.

2B.06 PAVING

Before paving, etc. level off and compact rockfill to 95%. Paving shall be 2" of plant mix applied on 4" Class II aggregate base crushed rock rolled flat with 10 ton rubber-tired roller, hand finished as required for first quality job.

2B.07 STRIPING

Use lettering for compact stalls, arrows, symbols and curb at handicap sta Traffic paint white, blue accents, brush, spray or roller apply, 4" width unless noted otherwise.

2B.08 PARKING BUMPERS

Where shown, apply with epoxy and rebar pins to pavement. Bumpers to minimum 6" high, of length shown, minimum 3,000 PSI concrete reinforced continuous length of the bumper.

2C.01 LANDSCAPING AND IRRIGATION

See landscaping specifications attached.

DIVISION 3A CAST-IN-PLACE CONCRETE

Also see structural specifications on sheet SD-1.

3A.01 SCOPE OF WORK

Provide and install all concrete, reinforcing and forms conforming to shape lines and dimensions shown on the drawings.

3A.02 CONCRETE

Portland cement shall be Type I or Type II. Coarse aggregate shall not exceed the following size limits: For Slabs: 3/4" slump maximum 4"

3A.03 CONCRETE SLABS

Before concrete slab on aggregate base is laid, lever off and compact rock fill to 95% compaction. Section 2B. Reinforced concrete slabs, place in center of slab. Finish by screening, floating and troweling concrete to a smooth dense finish.

3A.04 CONCRETE FORMS

Forms shall be of wood, steel or other approved material. All forms must be true to line, plumb and level with joints fairly tight.

3A.05 REINFORCEMENT

Reinforcement shall be deformed structural grade billet steel conforming to ASTM Specification A165-40, latest designation or A165-60.

DIVISION 4 MASONRY

4A.01 SCOPE OF WORK

See structural specifications on sheet SD-1.

DIVISION 5 METALS

5A.01 SCOPE OF THE WORK

Furnish and install all structural steel and miscellaneous iron shown on the drawing.

5A.02 STRUCTURAL STEEL

All structural steel shall be fabricated and erected in accordance with the latest specifications of the AISC.

5A.03

Furnish all carpentry bolts, steel angles, clips and railings, etc. as shown at required.

5A.04 MATERIALS

See structural specifications on sheet SD-1.

5A.05

Chain link fencing

Stair railing

Ornamental metal railings

Ladders. O-Keefe metal railings as noted on the drawings.

Submit Shop Drawings for all rails.

DIVISION 6 CARPENTRY

6A.01 SCOPE OF THE WORK

All rough, finished carpentry and millwork, installation of finish hardware and related items as shown and / or specified herein.

6A.02 MATERIALS

Lumber: Grade lumber in accordance with current grading rules #16 of the WCLA

Plywood: Grade in accordance with Commercial Standards. CS-45-48 (see specs on structural drawings, sheet SD-1)

6A.03 UNDERLAYMENT

6A.04 FRAMING

Frame, brace, anchor and tie all members together in a rigid manner. Make cuttings full and square. Do not cut structural members without Engineer's approval.

All members shall be securely nailed in place with proper size nails and secured rigidly in place. Studs shall be 16" on center, doubled at corners, partitions and sides of openings.

6A.05 TRUS-JOIST

Trus-joist, where shown, shall be as manufactured by Trus-joist MacMillan Company, Inc. or approved equal. Trus-joists and all work attached thereto shall be installed in strict accordance with manufacturer's instructions and details.

6A.06 GLU-LAMS

Glu-lams: Douglas fir in accordance with WCLA Standard Specifications, exterior glue. Industrial appearance end seal. Protect from moisture at all times prior to weather-tight building.

DIVISION 6B - MILLWORK

6B.01 SCOPE OF THE WORK

DIVISION 7 - MOISTURE PROOFING

7A.01 SCOPE OF THE WORK

Provide and install all roofing as shown on the drawings and specifications herein. Install hot asphalt and two (2) 15# felt waterproofing on walls below grade and above finish floor level. Slit and reseal all fishmouths.

7A.02 MATERIAL AND WORKMANSHIP

Materials shall be new, furnished and installed in complete accordance with manufacturer's directions.

7A.03 ACCEPTABLE MANUFACTURERS

a. The Celotex Corporation
b. Johns-Manville Sales Corporation, Manville Building Materials Corp.
c. Owens-Corning Fiberglass Corp.
d. Consolidated Fiber Glass Products, Inc. (Conglas)

7A.04 MATERIALS (BASIS: Manville 4 ply, 10 yr. NDL)

a. Asphalt Bitumen and glass Fiber Reinforced Roofing: Manufacturer's standard products for systems specified and conforming to the requirements of NRCA Roofing Manual.

1. System: NRCA Specification 35-NAGM; nailable deck, asphalt glass fiber reinforced membrane with mineral cap sheet surfacing. (comply with NRCA requirements for each material)

2. Base Sheet: Provide three ply roofing system, counting base sheet, plus additional cap sheet.

3. Provide rosin-sized sheathing paper where recommended by roofing manufacturer for type of decking on project.

4. Base and Composition Flashing System: Provide manufacturer's premium quality commercial quality base and composition wall flashing system. (comply with NRCA recommendations)

b. Mineral Cap Sheet: ASTM D3909, Manufacturer's standard mineral surfaced cap sheet for type of roof specified.

c. Walkway planks: Dek-top as manufactured by Asphalt Products Oil Corp. (415-542-4887) cut to sizes indicated on drawings for walkway planks.

d. Mechanical Fasteners: As recommended by insulation manufacturer and meeting recommendations of NRCA.

7A.05 PREPARATION

a. Inspect roof deck to ensure deck is clean and smooth, free of depressions, waves or projections and is properly sloped to drains, valleys or eaves.

b. Ensure roof openings, curbs and pipes, sleeves, ducts or vents through the roof are solidly set, cant strips are in place and nailing strips located.

c. Deck surfaces shall be dry.

7A.06 INSTALLATION

a. Apply roofing membrane in accordance with roofing manufacturer's instructions and NRCA recommendations for roof type specified.

b. Apply felts smooth, free from air pockets, wrinkles, fishmouths, prominent lap-joints or tears.

c. Carry felts up cant strips to vertical surfaces and secure to nailing strips.

d. Install 2-ply membrane and glaze coat for cut-off at "end-of-day" operation.

f. Coordinate metal flashings and counter flashing.

g. Coordinate installation of roof drains and related flashings.

h. Mop-in and seal flashings and flanges of items projecting through the membrane.

7A.07 GUARANTEE

The General Contractor and the Roofing Contractor shall submit a written statement guaranteeing all roof work for a period of ten (10) years from date of Acceptance. All roofing work to be certified by the manufacturer. Send two (2) copies of manufacturer's certificate to the Architect or Owner immediately upon completion of the work. Ten year, no dollar limit certificate required.

DIVISION 7 - MOISTURE PROOFING

7A.01 SCOPE OF THE WORK

Provide and install all roofing as shown on the drawings and specifications herein. Install Thermost Membrane Roofing, Membrane Flashings, Metal Flashings and Roof Insulation.

7A.02 MATERIAL AND WORKMANSHIP

Materials shall be new, furnished and installed in complete accordance with manufacturer's directions.

a. Solar Reflectance and Thermal Emission: Roofing system shall comply with Energy Star, LEED and California Title 24 cool roof standards for initial and aged solar reflectance and thermal emission.

b. Fire Resistance: Roofing system will achieve a UL Class A rating when tested in accordance with UL-790.

c. Thermal Performance: Roof system will achieve a minimum R value not less than 38.

d. Drainage: Provide a roof system with positive drainage where all standing water dissipates within 48 hours after precipitation ends.

e. Building Codes: Roof system will meet the requirements of all federal, state and local code bodies having jurisdiction. All materials and accessories shall be acceptable to the City of Livermore Building Department.

7A.03 ACCEPTABLE MANUFACTURERS

a. The Carlisle SynTec, or approved equal (contact: Don Lambrecht Rep, 916-417-6768)

1. Product Data: Manufacturer's data sheets on each product to be used, including preparation, storage and handling and installation instructions and methods.

2. Detail Drawings: Submit approved plan, section, elevation or isometric drawings which detail the appropriate methods for all flashing conditions found on the project. Coordinate approved drawings with locations found on the Contract Drawings.

3. Selection Samples: For each finish product specified, provide two complete sets of chips representing manufacturer's full range of available colors, membranes, and thicknesses.

4. Verification Samples: For each finish product specified, provide two samples, minimum size 4 inches square, representing actual product, color, and patterns.

7A.04 MATERIALS

a. Ethylene, Propylene, Diene Terpolymer (EDPM) Membrane fully adhered in low VOC adhesive.

1. System: Provide a waterproof roof system, capable of withstanding uplift forces as calculated using the current revision of ASCE-7.

2. Base Flashing: Provide a waterproof, fully adhered base flashing system at all penetrations, plane transitions and terminations.

3. Insulation: Provide polyisocyanurate insulation in two layers to meet specified R-value. One layer shall be a minimum of 3.1 inches in thickness and shall incorporate a thermal barrier classified by UL for use over plywood substrate. Second layer shall be standard polyisocyanurate insulation with an inorganic facing.

4. Base and Composition Flashing System: Provide manufacturer's premium quality commercial quality base and composition wall flashing system (comply with NRCA recommendations).

b. Sure-White Non-Reinforced Membrane: Cured, non-reinforced EDPM membrane meeting the requirements of ASTM D 4637 Type I.

1. Color: White on Black.

2. Membrane Thickness: 90 mil nominal.

7A.05 PREPARATION

a. Clean surfaces thoroughly prior to installation. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions. Do not commence work until all other work trades have completed jobs that require them to traverse the deck on foot or with equipment.

b. Ensure roof openings, curbs and pipes, sleeves, ducts or vents through the roof are solidly set, cant strips are in place and nailing strips located.

c. Deck surfaces shall be dry.

7A.06 INSTALLATION

a. Install all roofing materials and accessories, including insulation, membrane, flashings, walkways in accordance with the latest published specifications of the roofing manufacturer for the system specified.

b. Perform daily clean-up to collect all wrappings, empty containers, paper, and other debris from the project site. Upon completion, all debris must be disposed of in a legally acceptable manner.

c. Prior to the manufacturer's inspection for warranty, perform a pre-inspection to review all work including flashing and caulking.

7A.07 CLEAN-UP AND PROTECTION

Clean-up and protect installed products until completion of project. Touch-up, repair or replace damaged products before Substantial Completion.

7A.08 GUARANTEE

The General Contractor and the Roofing Contractor shall submit a written statement guaranteeing all roof work for a period of ten (10) years from date of acceptance. All roofing work to be certified by the manufacturer. Send two (2) copies of manufacturer's certificate to the Architect or Owner immediately upon completion of the work. Ten year, no dollar limit certificate required.

DIVISION 7A - SHEET METAL

7B.01 SCOPE OF THE WORK

Furnish and install all sheet metal work shown on the drawings, specified herein or wherever necessary for flashing purposes, to make a watertight job.

7B.02 MATERIALS

Galvanized iron: 26 gauge minimum
Soldier: halfpig lead and half-tin with muriatic acid flux.

7B.03 WORKMANSHIP

Allow for expansion and contraction. Flash and counter flash all junctions of all roofs with vertical surfaces. Provide expansion joints 40'-0" on center. Fasten all down spouts securely to wall with straps. All workmanship shall be first class and shall be properly constructed and complete whether specifically mentioned or not. Use slip-joint covers at joints in flashing per SMACNA standards.

DIVISION 8 - DOORS, WINDOWS AND GLASS

For details see drawings and Title 24 requirements.

SECTION 8A - GLASS AND GLAZING

8A.01 SCOPE OF THE WORK

All glass is factory installed, under section 8D and 8E, except mirrors. Furnish and install glass wherever shown on the drawings. (per Flat Glass Marketing Association, Glazing Manual)

8A.02 MATERIALS

Clear glass: New clear float glass, PPG or equal 1/4" Tempered glass: New PPG herculite tempered safety glass
Bronze glass: New PPG colorbronze, min. 1/4" pol. Plate
Plate glass: PPG or equal polished plate 1/2" thick
Wire glass: 1/2" polished, square mesh run vertical (not diagonal).

Mirrors: Type A - polished plate second silver quality (in each lavatory) Unless noted on toilet accessory schedule.
Exterior Windows: Solarban 60 PPG Industries or approved equal.
Sightlights: to be O'Keefe or equal double insulated. Frosted at restrooms.

8A.03 CLEANING

The General Contractor shall be responsible for thoroughly cleaning all glass on both sides and replacing all broken or cracked glass prior to acceptance of the building by the Owner.

8A.04 CODE

All work shall conform to the 2007 CBC regarding maximum size to thickness and tempering requirements.

SECTION 8B - FINISH HARDWARE

8B.01 SCOPE OF THE WORK

Contractor shall provide the Owner with complete Hardware Schedule for review and approval. Schedule shall include cross match-coding of locksets to door numbers on plans and three (3) copies shall be provided, allowing fifteen (15) working days for the Owner to review. Schedule shall show manufacturer's name and catalog number of each item. This schedule shall be considered the Preliminary Schedule. (all hardware shall be commercial quality and shall be installed in accordance with CAC Title 24)

Contractor's hardware vendor shall prepare a revised/corrected schedule - revised document based upon the Owner's review comments on Preliminary Schedule. The revised document shall be considered the Final Hardware Schedule and three (3) copies shall be forwarded to the Owner. This will enable the Owner to prepare a Keying Schedule which will be forwarded through channels to the hardware supplier for ordering hardware.

Door locksets shall be Sargent 8100 series LWIL with USS10B finish. Keyways and Pinning schedules shall be determined by the Owner to coordinate with the Master Keying Schedule. No substitution in lieu of Sargent locks will be considered.

8B.02 DOOR LOCKSETS

Door locksets shall be Sargent 8100 series LWIL with USS10B finish. Keyways and Pinning schedules shall be determined by the Owner to coordinate with the Master Keying Schedule. No substitution in lieu of Sargent locks will be considered.

8B.03 KEYING

a. All keyed locks shall be passed by a Grand Master Key. All lock cylinders are to be Grand Mastered, sub-building mastered and set keyed.

b. Keys: Stamp all keys "do not duplicate"

1. Furnish three keys per lock with an additional three keys for each set; three keys for each Sub-master, three keys for each Building Master and 50 stamped key blanks in the Job Keyway.

2. Upon receipt of the locksets and cylinders from the factory supplier shall notify the Owner that the keyed locks and cylinders are ready to be checked for the keying requirements set forth in the Keying Schedule. After the keyed locks and cylinders have been checked against the Keying Schedule and corrections make the Owner will accept the keys for the job and the keyed locks will be delivered to the job.

8A.04 PANIC HARDWARE

Panic hardware and door closers shall be installed per the requirements of the local Fire Marshal. On all wood doors requiring panic bars and/or closers, such hardware shall be installed with hex bolts.

8B.04 DOOR BUMPERS

Door bumpers shall be Sargent concave type or equal. All wall mounted bumpers shall have solid backing (2"x4") installed behind each bumper.

8B.05 DRAWER SLIDES

Drawer slides to be Knappe Vogt 1280P

8B.06 BUTT HINGES

Butt hinges to be McKinney TA2724. 4 1/4" x 4 1/2" typical.

8B.07 CABINET HINGES

Cabinet hinges: 30 deg. Reverse bevel doors - National Lock Co. C325 Cabinet Hinges: Flush doors - McKinney 2743

SECTION 8C - HOLLOW METAL DOOR FRAMES AND WINDOWS

8C.01 SCOPE OF THE WORK

Provide all ferrous metal doors and frames, hollow metal work and related items complete as shown and specified. All doors and frames to be shop coat primed, except pre-finished aluminum anodized doors and frames and timely pre-finished door frame systems. All exterior doors and frames shall be galvanized.

8C.02 MATERIALS

Hollow metal doors and frames shall be in accordance with Steel Door Institute (SDI) standard specifications. Interior Doors shall be SDI Level 2 (heavy duty), Model 1 (full flush). Exterior doors shall be SDI Level 3 (extra heavy duty) Model 1.

Interior door frames shall be SDI Level 2 (16 gauge heavy duty) and exterior door frames shall be SDI Level 3 (14 gauge, extra heavy duty).
Fire-rated doors shall have UL Label with required rating.

SECTION 8E - METAL SASH

DIVISION 9A - PAINTING AND DECORATING

9A.01 SCOPE OF THE WORK

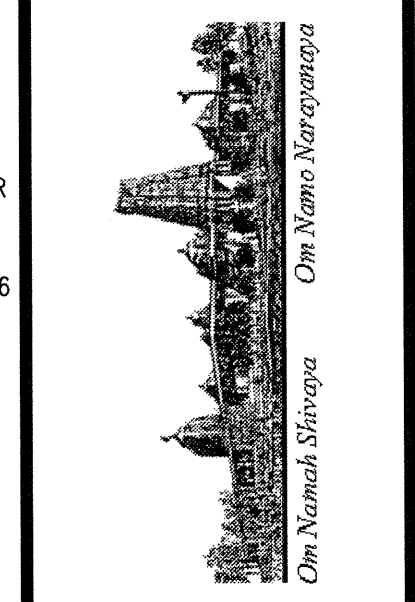
It is the intent of the specifications that the Contractor shall execute all painters finishes throughout the exterior and interior of the building. Paint all wood, plaster or sheetrock, unfinished metals, unless specifically noted otherwise. Spray texture all sheetrock for flatwall work.

a. Stipple all enamel. Provide smooth finish for areas with wallcoverings.

b. Accept tape work in writing to Owner, prior to start of painting.

c. Colors to be per Owner or as scheduled.

REVISIONS	BY
A	05-24-10 HCCC
B	08-06-10 BPC
	10-07-10 BD
C	10-12-10 BPC

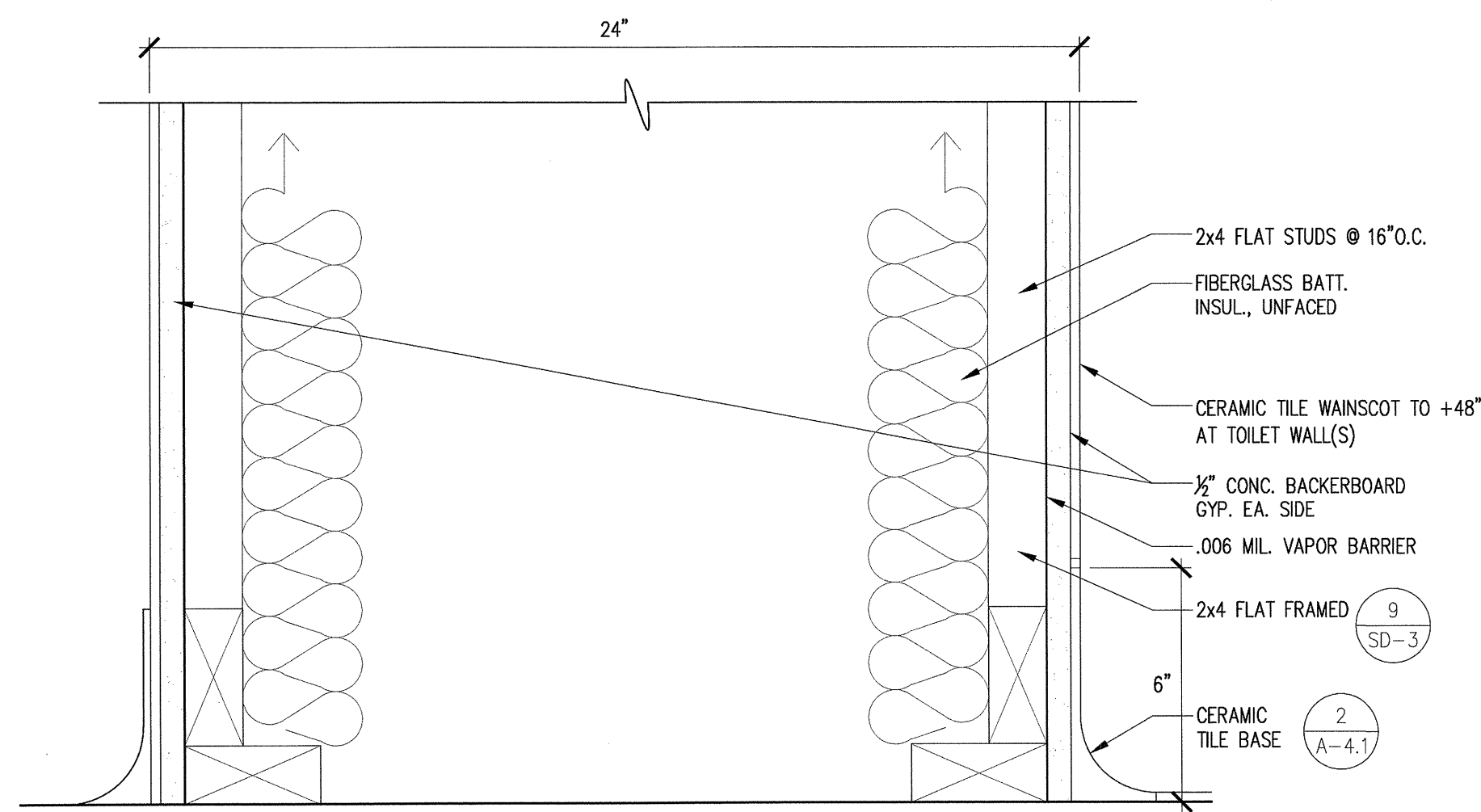


BUILDING "C"
 HINDU COMMUNITY and CULTURAL CENTER
 1200 ARROWHEAD AVE. LIVERMORE, CA 94551

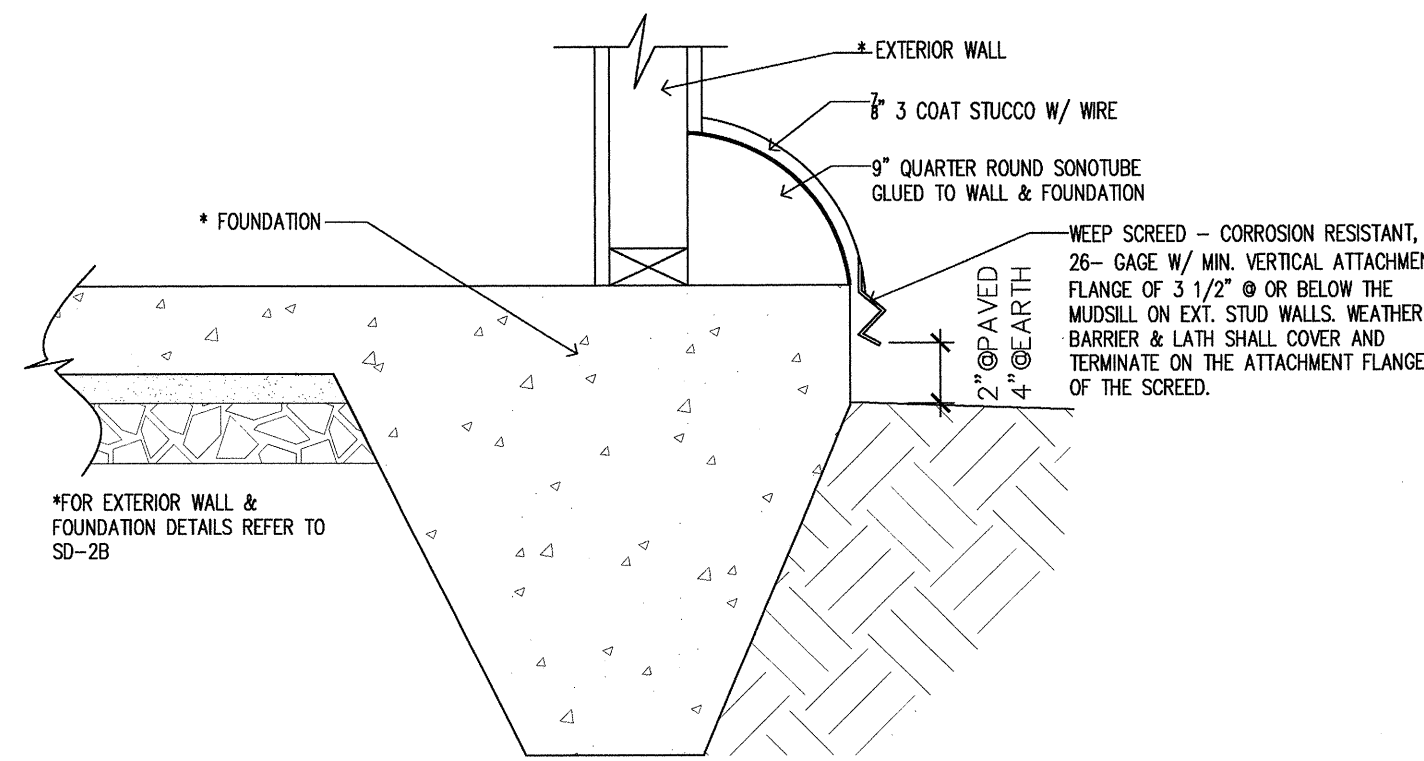
BUILDING DETAILS
 PHASE 1-B

DATE	03/12/10
SCALE:	
DRAWN BY:	RL
PROJECT:	ARROWHEAD

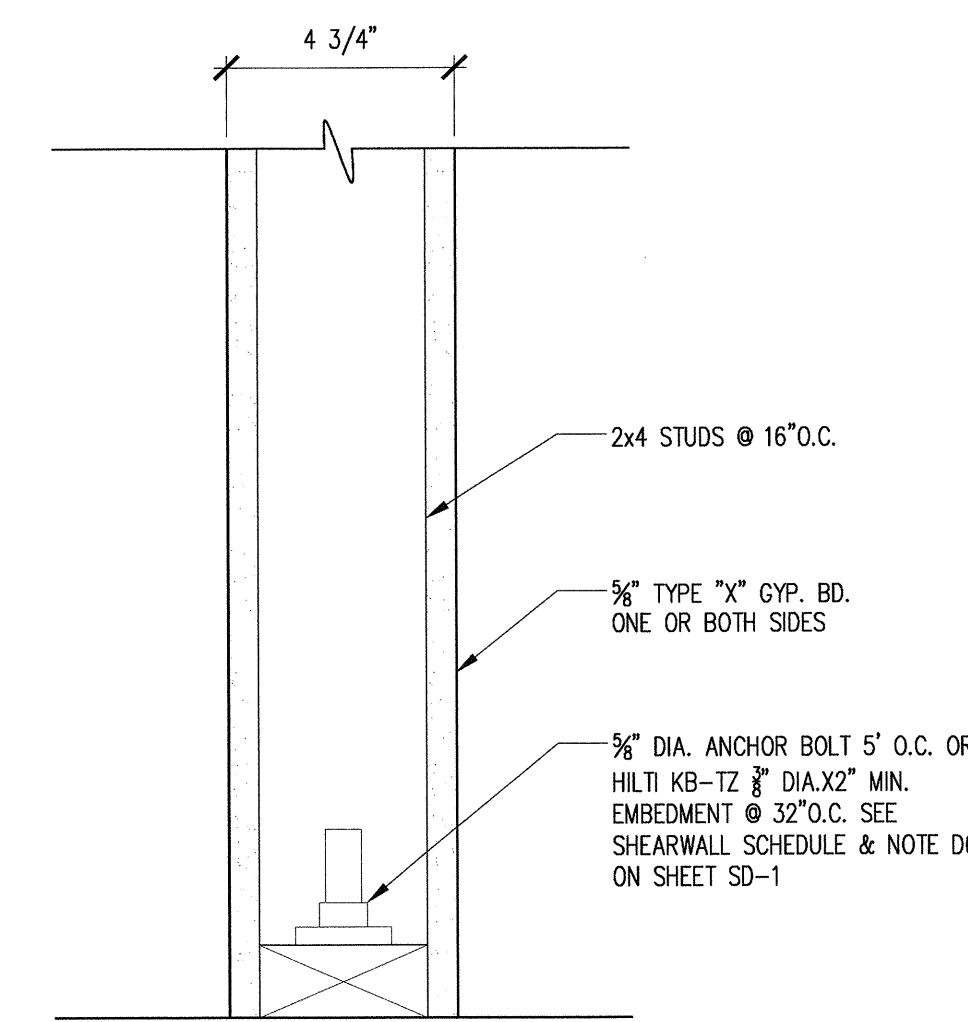
A-7B



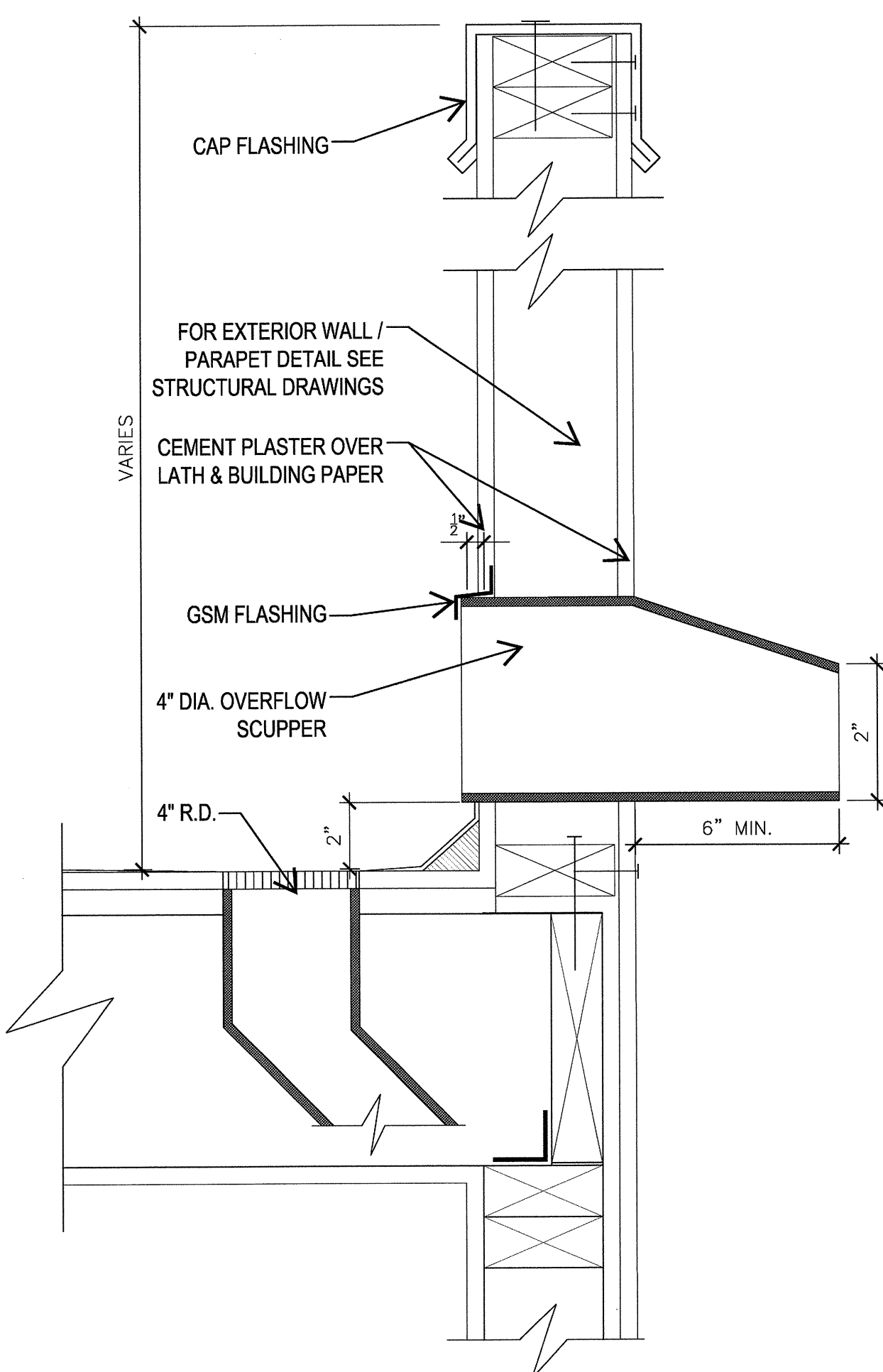
9 PLUMBING WALL
DETAIL SCALE: 3"=1'-0"



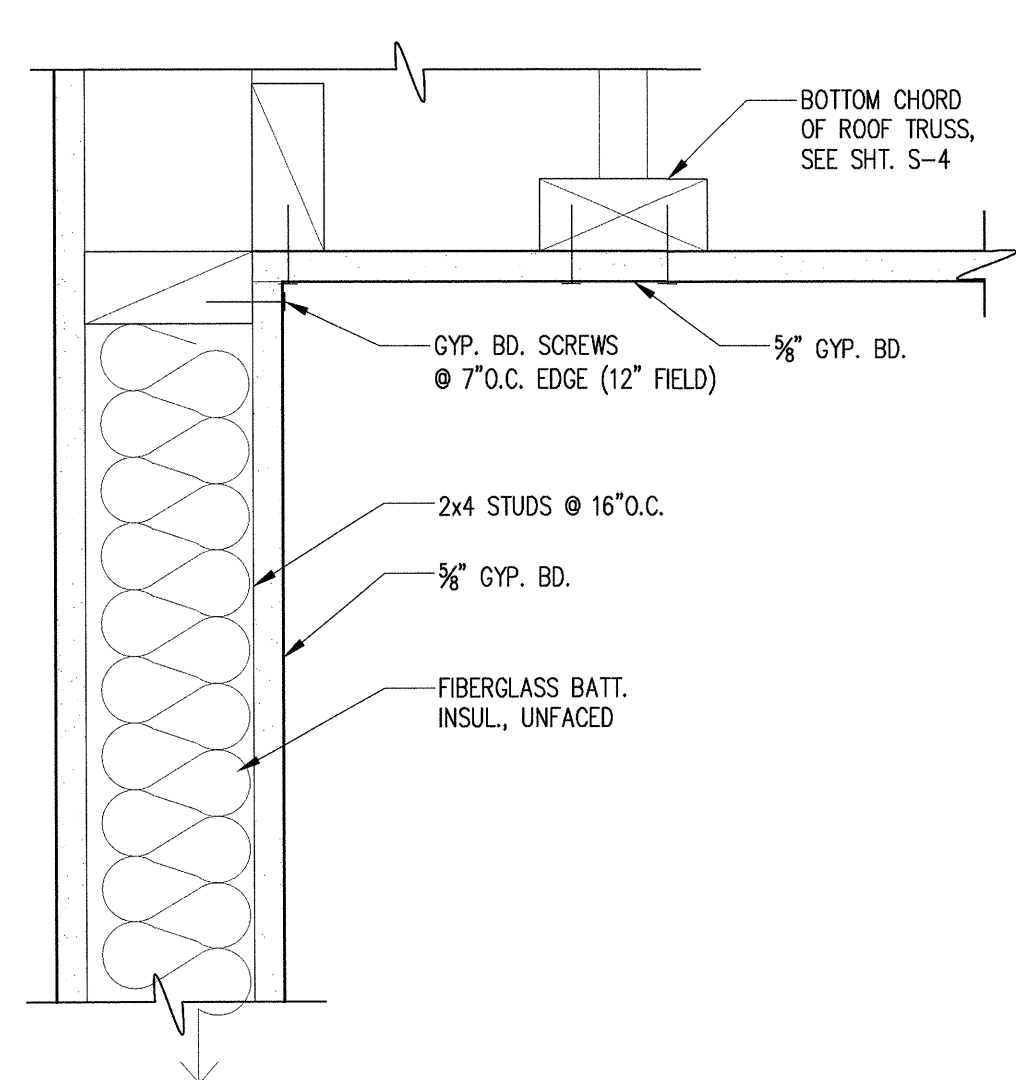
6 BASE TRIM & WEEPSCREED
DETAIL SCALE: N.T.S.



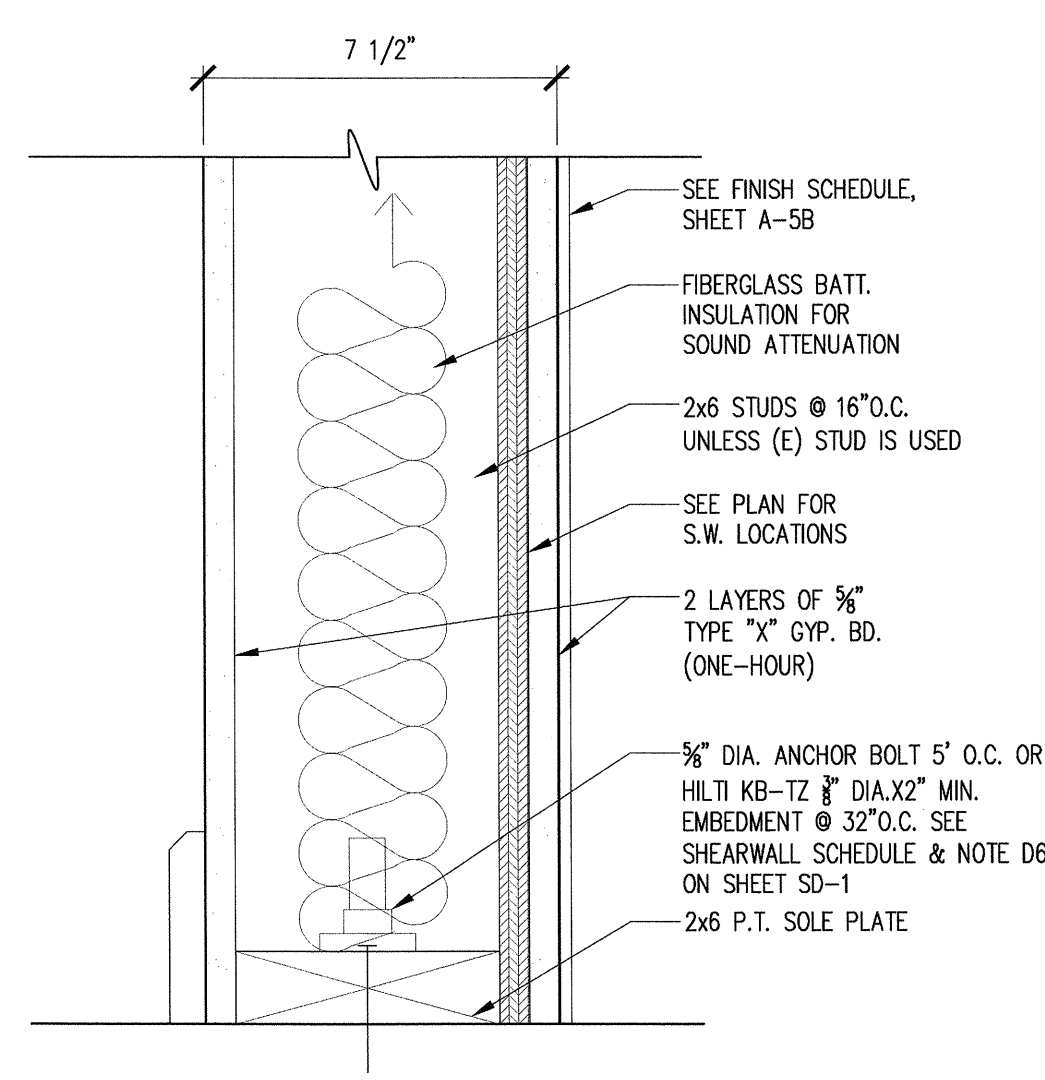
1 TYP. PARTITION WALL
DETAIL SCALE: 3"=1'-0"



11 OVERFLOW SCUPPER
DETAIL SCALE: N.T.S.

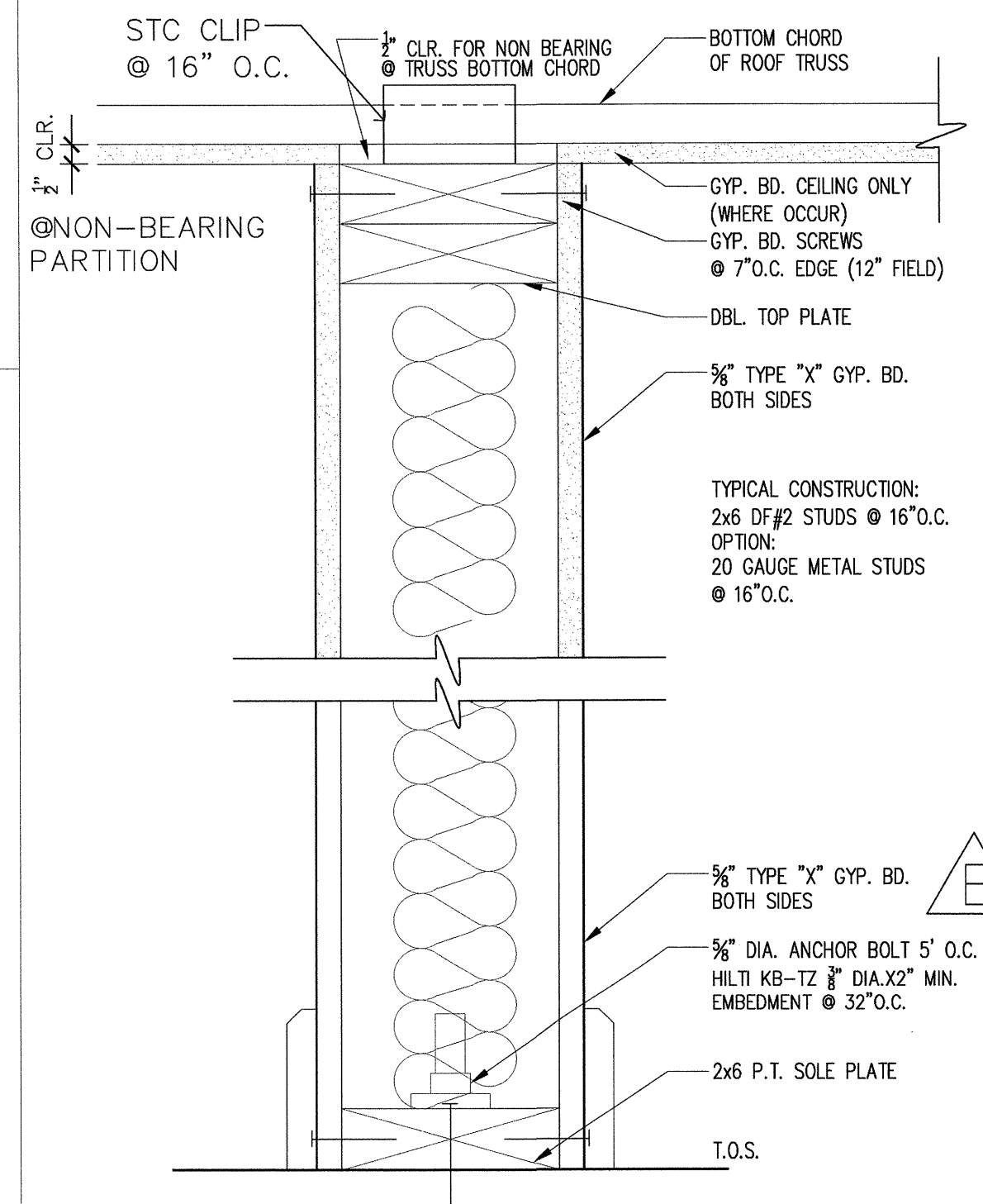


10 CEILING
DETAIL SCALE: 3"=1'-0"

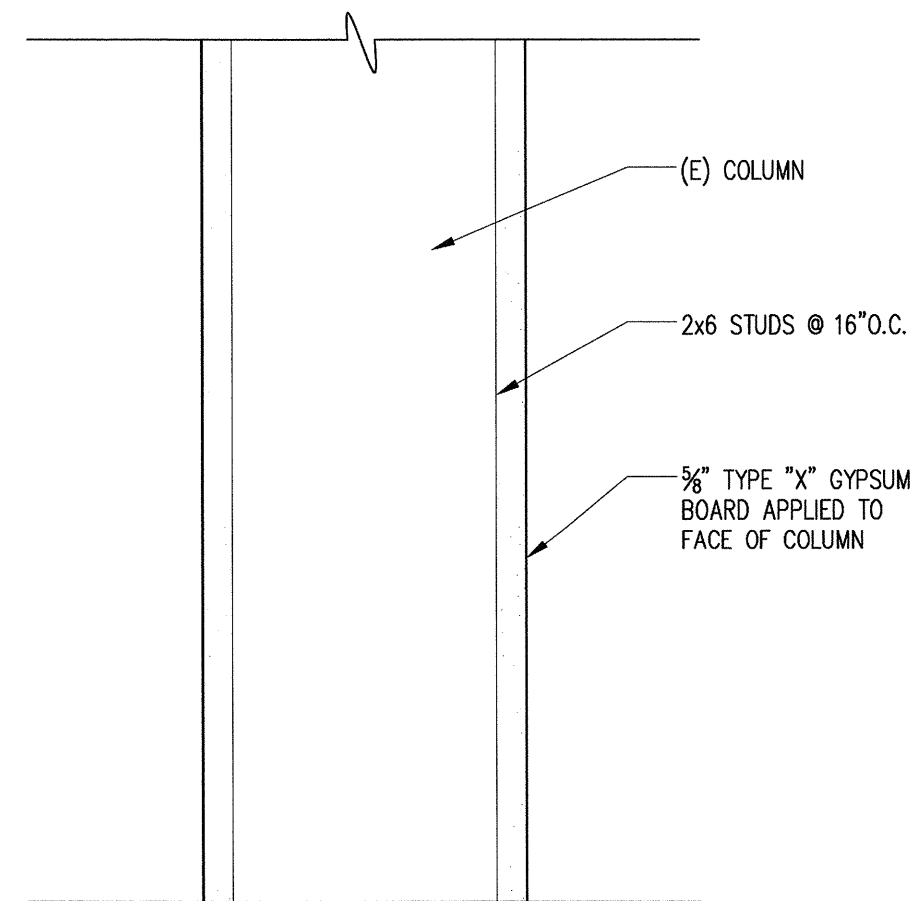


7 PARTITION WALL
DETAIL SCALE: 3"=1'-0"

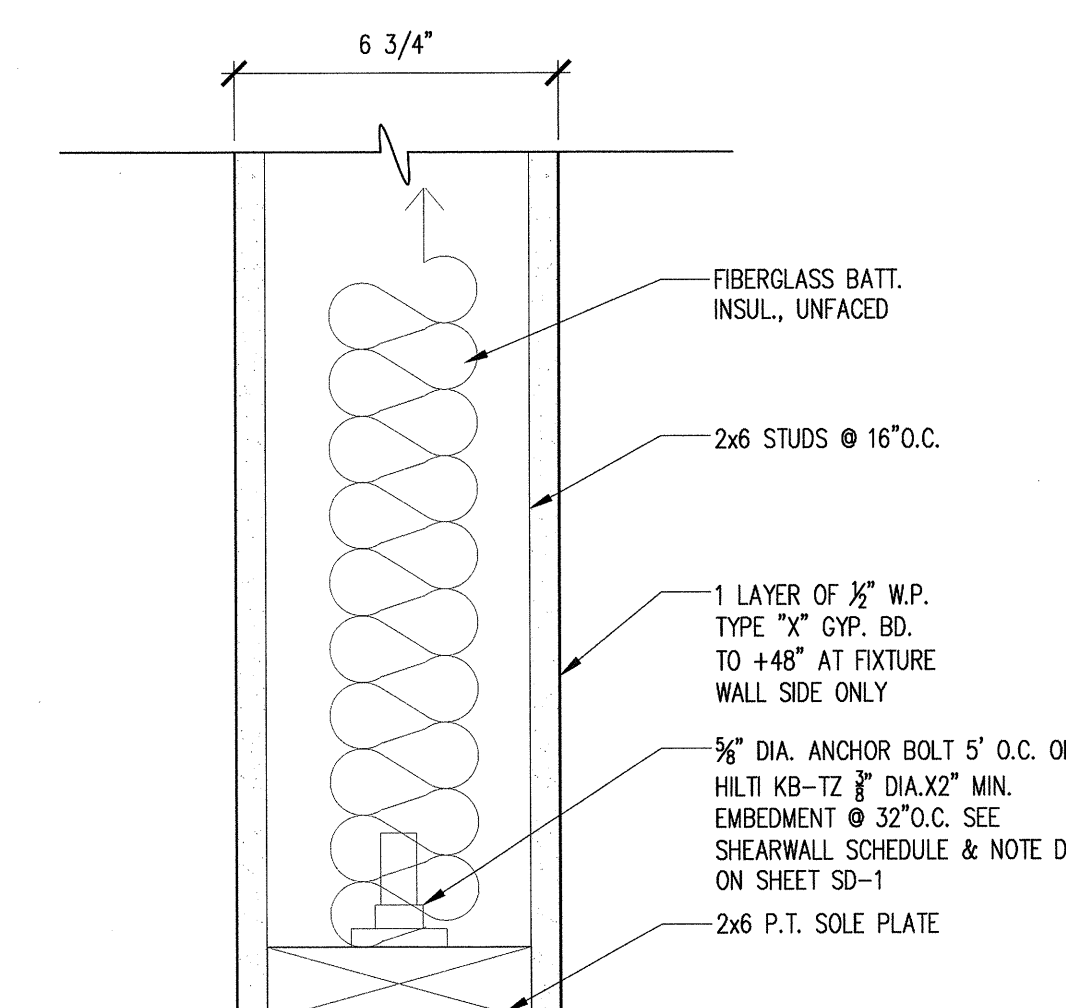
NOTE:
FOR HILTI KWIK BOLT TZ CARBON ANCHORS IN CONCRETE SEE ATTACHED ICC-ES EVALUATION REPORT ESR-1917.



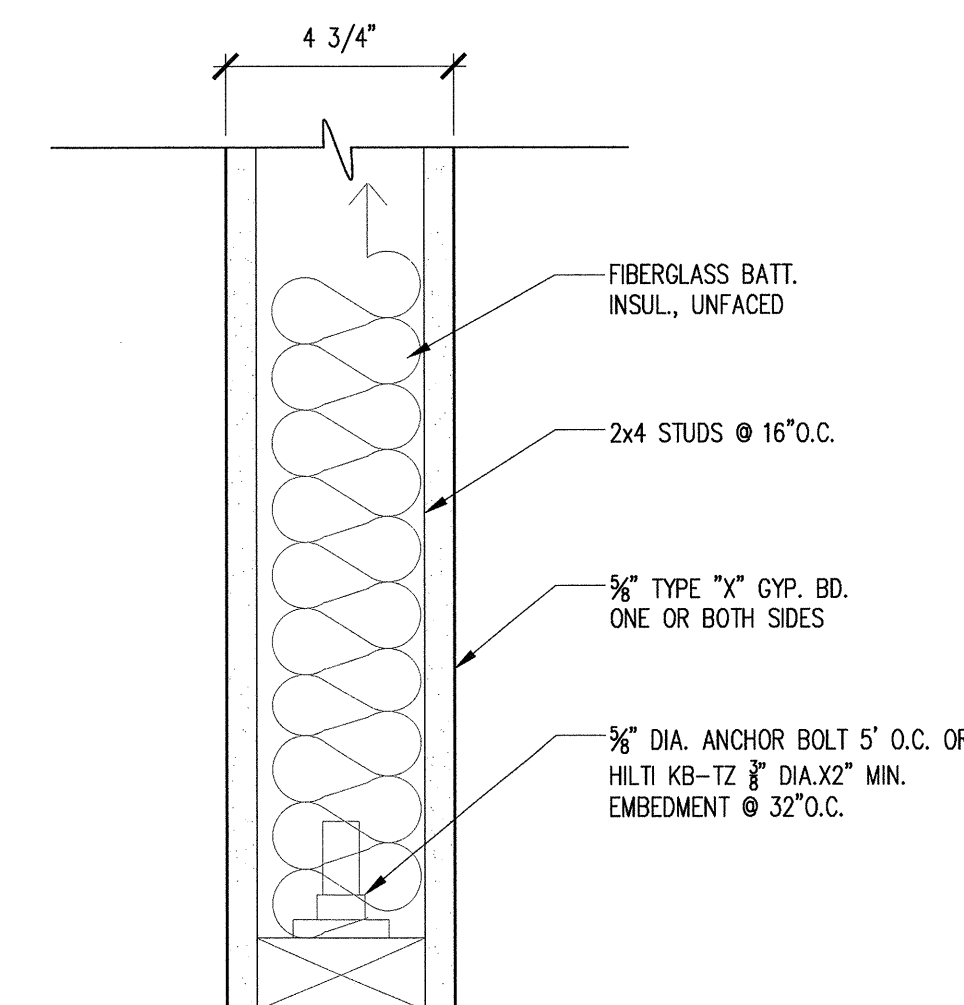
5 (N) INT. NON BEARING WALL
DETAIL SCALE: 3"=1'-0"



8 SINGLE LAYER GWB
AT COLUMN SCALE: 3"=1'-0"



2 TYP. PLUMBING WALL
DETAIL SCALE: 3"=1'-0"



3 PARTITION WALL
DETAIL SCALE: 3"=1'-0"